

ESQ 1818 STAGE 2A, 2B & 3

Panthers North Precinct

PENRITH NSW 2750

DEVELOPMENT APPLICATION

AMENDMENT PACKAGE

This DA amendment package addresses items from the Planning Panel Meeting held on 24 July 2019, regarding DA18/0999 (ESQ Stage 2&3)

The drawing in this package demonstrate compliance with the following ADG items:

- 3F-1 Visual Privacy / Building Separation
- 4A-1 Solar Access
- 4E-1 Balcony Area

The total number of apartments has reduced from 328 to 320:

- 5 lost in Building C
- 2 gained in Building D
- 3 lost in Building E
- 2 lost in Building G

DOCUMENT LIST

Part 1 - SUMMARY

000 GENERAL

DA-000-001 Cover Sheet

100 Site Strategy Diagrams

DA-100-003 Building Separation Plan

720 Apartment Amenity Diagram

DA-720-008 Ground Level

Part 2 - STAGE PLAN AMENDMENT

112 General Arrangement Plans 1:200

- DA-112-020 Building C_Ground Level
- DA-112-040 Building C_Levels 1&2
- DA-112-050 Building C_Level 3
- DA-112-060 Building C_Level 4
- DA-112-120 Building D + E_Ground Level
- DA-112-130 Building D + E_Level 1
- DA-112-131 Building D + E_Level 2
- DA-112-132 Building D + E_Level 3
- DA-112-140 Building D + E_Level 4
- DA-112-220 Building F_Ground Level
- DA-112-230 Building F_Levels 1&2
- DA-112-240 Building F_Level 3
- DA-112-250 Building F_Level 4
- DA-112-320 Building G_Ground Level
- DA-112-330 Building G_Level 1
- DA-112-340 Building G_Levels 2&3
- DA-112-360 Building G_Level 4

Part 3 - APARTMENT PLAN AMENDMENT

410 General Arrangement Plans 1:100

- DA-410-010 Building C_Level 1 to Level 3
- DA-410-020 Building C_Level 4
- DA-410-110 Building D_Ground Level + Level 1
- DA-410-210 Building E_Ground Level
- DA-410-220 Building E_Level 1 to Level 3
- DA-410-310 Building F_Ground Level to Level 4
- DA-410-410 Building G_Ground Level
- DA-410-420 Building G_Level 1 to Level 3
- DA-410-430 Building G_Level 4

Part 4 - BALCONY COMPLIANCE

760 ADG Balcony and Unit Size Calculation

- DA-760-010 Building C_Typical
- DA-760-020 Building D + E_Typical
- DA-760-030 Building F_Typical
- DA-760-040 Building G_Typical



July 2019

DEVELOPMENT SUMMARY TABLE

	YIELD						AMENITY			GFA (APPROXIMATE ESTIMATE)	
	STUDIO	1 BED	2 BED	3 BED	4 BED	TOTAL	SOLAR ADG REQ. >70%	CROSS VENT ADG REQ. >60%	NO SOLAR ADG REQ. <15%	RESI	RETAIL
STAGE 2A	0	33	36	5	3	77 (-5)	59/77 = 78%	48/77 = 63%	11/77 = 15%	6940m ² (-100m ²)	1225m ²
STAGE 2B	1	27	53	16	0	97 (-1)	69/97 = 71%	68/97 = 70%	7/97 = 8%	8750m ² (-225m ²)	0m ²
STAGE 3	0	50	86	10	0	146 (-2)	109/146 = 75%	102/146 = 70%	0/146 = 0%	11910m ² (-430m ²)	0m ²
TOTAL	1	110	175 (-11)	31	3 (+3)	320 (-8)	✓ ADG COMPLIANT	✓ ADG COMPLIANT	✓ ADG COMPLIANT	27600m ² (-755m ²)	1225m ²

*Red text denotes change from DA submission 14.06.19

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Project Title

Mixed Use Development
Panthers North Precinct Penrith NSW 2750

Drawing Title

GENERAL

P7

Rev.

30.07.19 BF
Date Approved by

DA Resubmission

Revision Notes

Project No.

Drawn by

Scale

NTS

Status

For DA Submission

14064

Drawn by

AK / NW / AG

DB / ML / BF

Rev

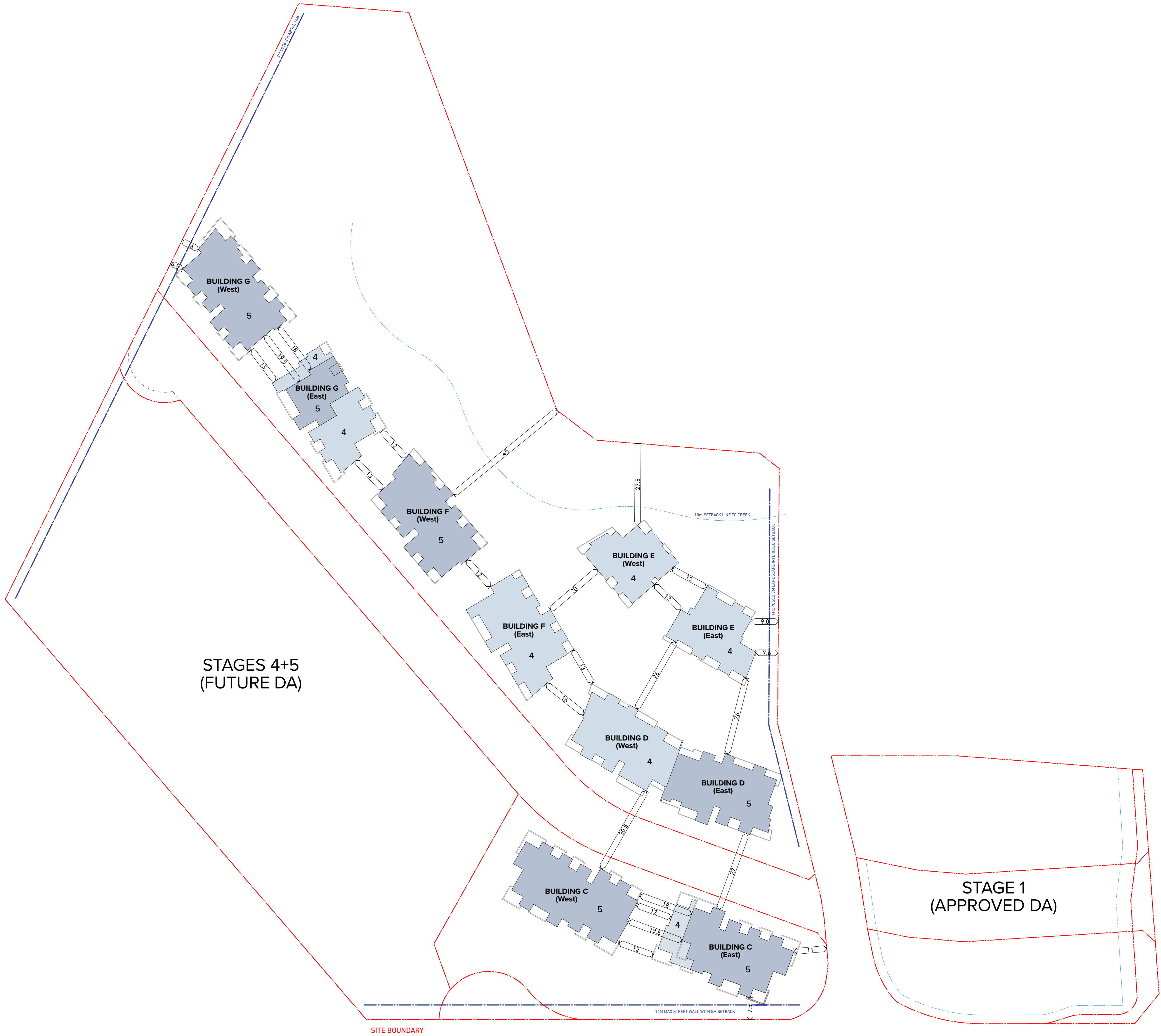
Dwg No. DA-000-001

P7

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Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750

Drawing Title
Site Strategy Diagrams
Building Separation Plan

P4	30.07.19	BF	DA Resubmission
Rev.	Date	Approved by	Revision Notes
Scale	1:750 @A1, 50% @A3	Project No.	14064
Status	For DA Submission	Dwg No.	DA-100-003
Rev	P4	Drawn by	AK / NM / AG
		Rev	DB / ML / BF
			North




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1 Ground Level
1:750

SUMMARY				
STAGE	  			
STAGE 2A	(East)	5/36(14%)	22/36(61%)	
BLDG C (%)	(West)	6/41(15%)	26/41(63%)	
STAGE 2B	(East)	5/60(8%)	36/60(60%)	
BLDG D (%)	(West)	1/20(5%)	16/20(75%)	
BLDG E (%)	(West)	1/17(6%)	16/17(94%)	
STAGE 3	(East)	0/32(0%)	22/32(69%)	
BLDG F (%)	(West)	0/40(0%)	28/40(70%)	
BLDG G (%)	(East)	0/34(0%)	24/34(71%)	
	(West)	0/40(0%)	28/40(70%)	
TOTAL (%)	237/320	18/320	218/320	
ADG REQUIRED 70%	74%	6%	68%	
	<15%	60%		
COMPLIANCE	✓	✓	✓	

LEGEND	
	2 hours direct solar access (0900-1500) June 21st
	No direct solar access (0900-1500) June 21st
	Naturally cross-ventilated

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Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750
Drawing Title
Apartment Amenity Diagrams 1:750
Ground Level

P5	14.06.19	BF	DA Resubmission
Rev.	Date	Approved by	Revision Notes
Scale	1:750 @A1, 50% @A3	Project No.	14064
Status	For DA Submission	Dwg No.	DA-720-008
		Rev	P6

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Part 2 -STAGE PLAN AMENDMENT – BUILDING C

THERMAL COMFORT INCLUSION STAGE 2A

- Glazing Doors/Windows**
 Aluminium framed clear performance glazing
 A - awning windows + angled glazing doors SHGC 0.51 (±10%)
 U-Value 4.80 (equal to or lower than)
 B - sliding doors/windows + fixed glazing + louvre windows SHGC 0.59 (±10%)
 U-Value 4.80 (equal to or lower than)
 Aluminium framed clear performance glazing as per assessor's certificate
 U-Value 4.10 (equal to or lower than) SHGC 0.52 (±10%)
 Given values are AFRC, total window system values (glass and frame)
- Roof**
 Concrete roof no insulation
 External Colour Default colour modelled
- Ceiling**
 Plasterboard ceiling R2.5 insulation (insulation only value) where exposed roof and terrace above
 Plasterboard ceiling R1.5 insulation (insulation only value) where balconies are above
 Plasterboard ceiling no insulation where neighbouring units are above
- Ceiling Penetrations**
 Assumed sealed LED downlights every 12.5m
- External Wall**
 Brick veneer with R2.0 insulation (insulation only value)
 Lightweight masonry with R2.0 insulation
 External Colour Default colour modelled
- Inter tenancy walls**
 75 mm Hesse down-pane wall between the grounds, no insulation required
 75 mm Hesse down-pane wall with R1.7 insulation to corridor walls
 200mm concrete wall with R1.7 insulation to lift shafts and fire stairs
 Acoustic insulation as required
- Walls within dwellings**
 Plasterboard on studs - no insulation
- Floors**
 Concrete - suspended open subfloor with R12 insulation required as per Assessor's Certificate
 Concrete between levels no insulation required
- Floor coverings**
 Carpet to bedrooms, tiles to bathrooms and laundry, timber elsewhere
- External Shading**
 External shading screens and fins as per stamped documentation
- Hot water system**
 Central gas fired boiler with R10 (38mm) insulation to rising main and supply pipes
- Alternative energy**
 BSW Photovoltaic system

RETREAT DRIVE

RANSLEY STREET

BLDG C (WEST)
 (S) SOLAR 32/41 (78%)
 (NS) CROSS V 26/41 (63%)
 (NS) NON SOLAR 6/41 (15%)

BLDG C (EAST)
 (S) SOLAR 27/36 (75%)
 (NS) CROSS V 22/36 (61%)
 (NS) NON SOLAR 5/36 (14%)

1 Building C_Ground Level
1:200

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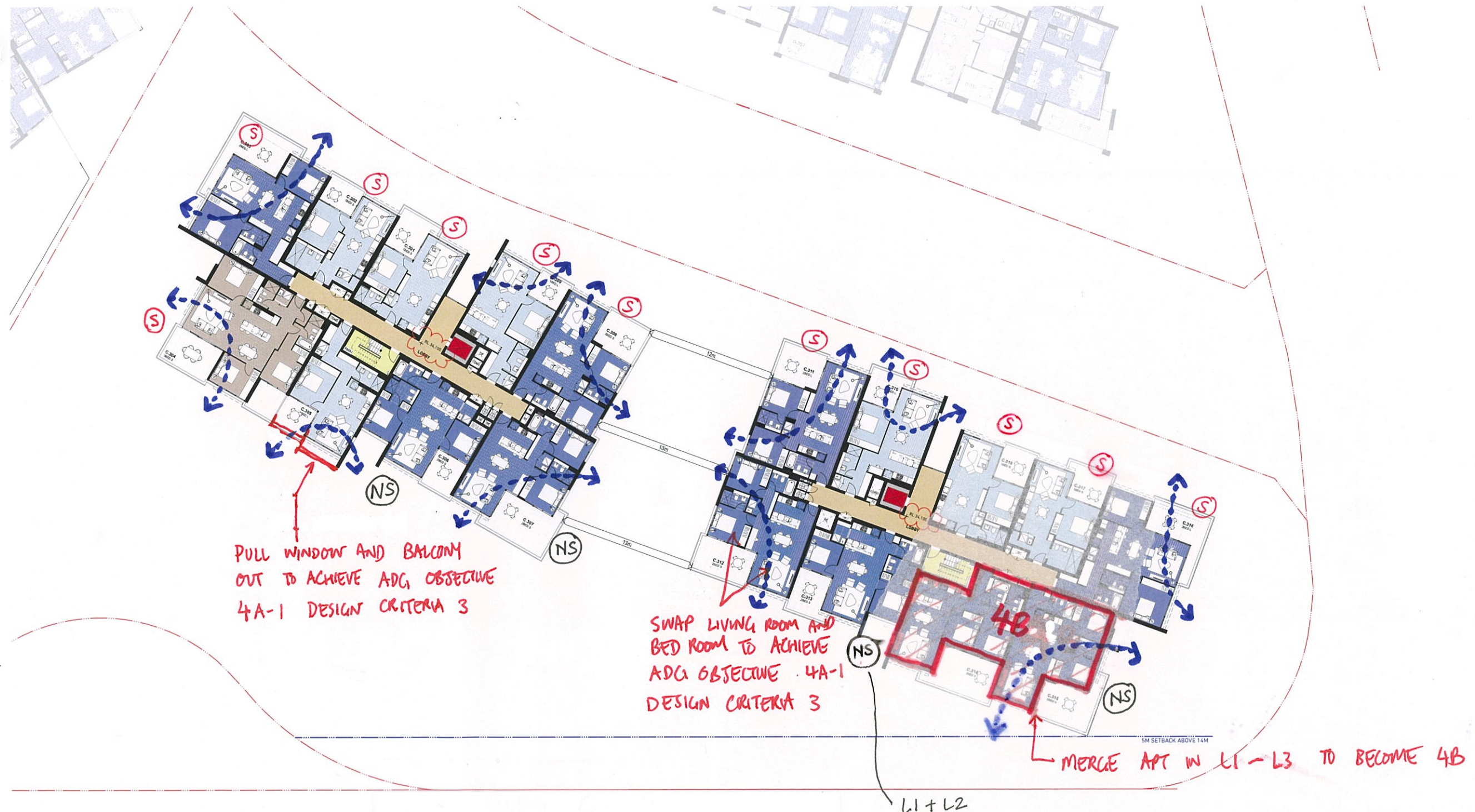
LEGEND
 SCREEN
 High level window

GROUND FLOOR
 AMENDMENTS
 2019-07-30

Project Title
 Mixed Use Development
 Panthers North Precinct Penrith NSW 2750

Drawing Title
 General Arrangement Plans 1:200
 Building C_Ground Level

P17 14.06.19 BF DA Resubmission
 Rev. Date Approved by Revision Notes
 Scale 1:200 @ A1, 50% @ A3
 Status For DA Submission
 Project No. 14064
 Drawn by AN/AN/AS
 Checked by AN/AN/AS
 Rev. P18
 Drawing No. DA-112-020
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1 Building C_Level 1-2
1:200

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LEVEL 1 - 2
AMENDMENTS
2019-07-30

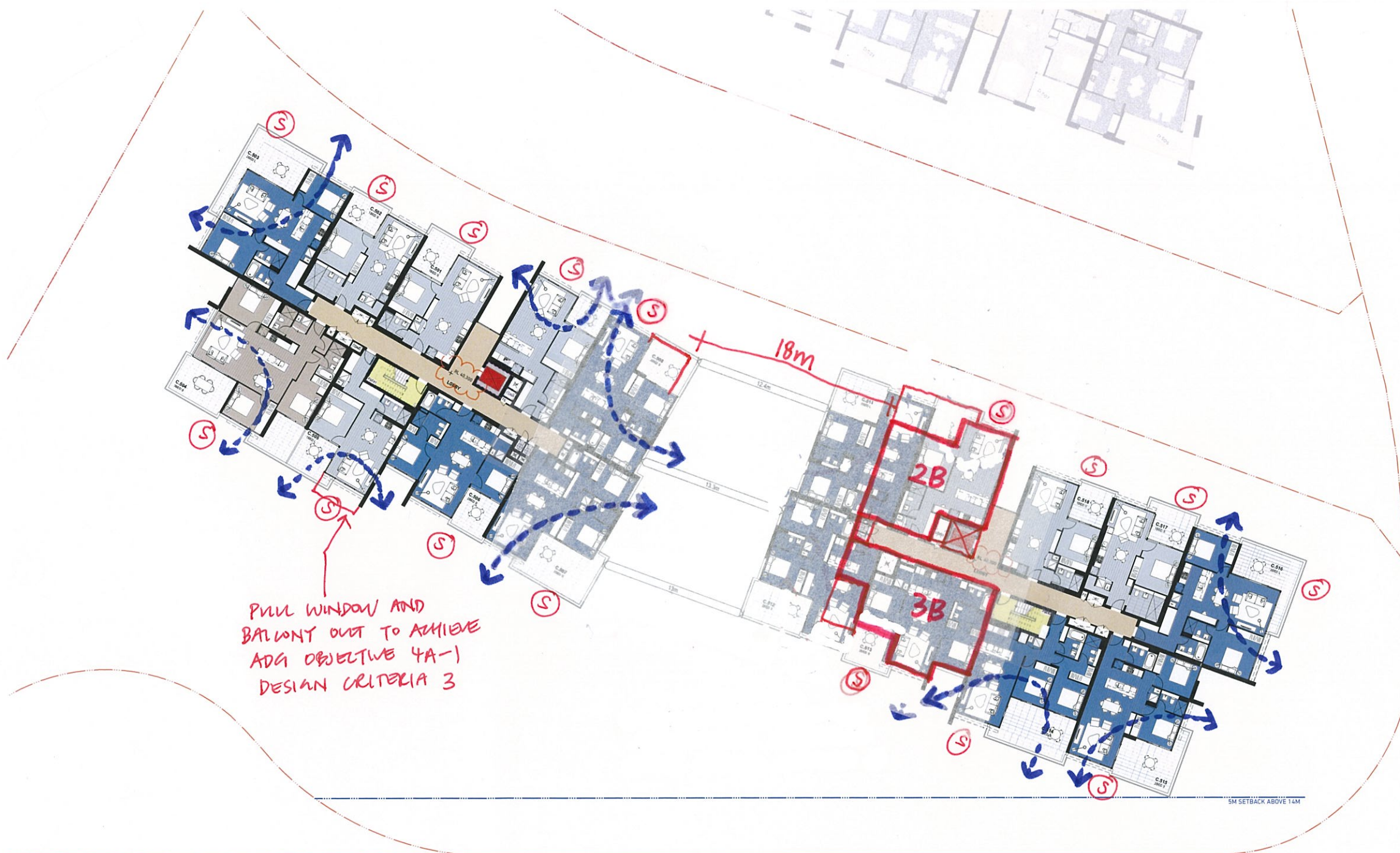
Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750
Drawing Title
General Arrangement Plans 1:200
Building C Level 1-2

Rev	06.03.19 BF	DA Submission
Date		Revision Notes
Scale	1:200 @A1, 50%@A3	Project No. 14064
Status	For DA Submission	Drawn by AKF/MH/LAG
		Rev DB/ML/IBF
		Rev
		DA-112-040
		P8
		North
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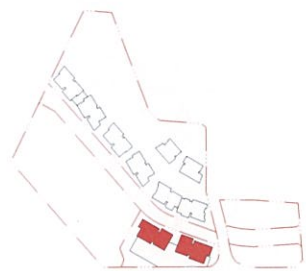


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PULL WINDOW AND
BALCONY OUT TO ACHIEVE
ADQ OBJECTIVE 4A-1
DESIGN CRITERIA 3



1 Building C_Level 4
1:200

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LEVEL 4
AMENDMENTS
2019-07-30

Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750
Drawing Title
General Arrangement Plans 1:200
Building C_Level 4

P7	08.03.19	BF	DA Submission
Rev	Date	Approved by	Revision Notes
Scale	1:200 @A1, 50% @A3	Project No.	14064
Status	For DA Submission	Dwg No.	DA-112-060
Drawn by	AKI/NW/AG	Rev	P8
Check by	SB/ML/SF		

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Part 2 -STAGE PLAN AMENDMENT – BUILDING D+E

BLDG E (WEST)

Ⓢ SOLAR 13/17 76%
CROSS V. 16/17 94%
Ⓝ Non Solar 1/17 6%

LAYOUT AND COMPLIANCE AS PER E107.

BLDG E (EAST)

Ⓢ SOLAR 14/20 70%
CROSS V. 16/20 75%
Ⓝ Non Solar 1/20 5%

THERMAL COMFORT INCLUSION STAGE 2B

Glazing Doors/Windows	Aluminium framed clear performance glazing: A – awning windows – hinged glazed doors U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±10%) B – sliding doors/windows – fixed glazing – louvre windows U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%) Aluminium framed double performance glazing as per assessor certificate: U-Value: 4.10 (equal to or lower than) SHGC: 0.52 (±10%) Given values are AFRC, total window system values (glass and frame)
Roof	Concrete roof no insulation External Colour: Default colour modelled
Ceiling	Plasterboard ceiling, R4.0 insulation (insulation only value) to unit E405 only and R2.5 insulation (insulation only value) to all other units where exposed roof and terrace above. Plasterboard ceiling, R1.5 insulation (insulation only value) where balconies are above Plasterboard ceiling, no insulation where neighbouring units are above
Ceiling Penetrations	Assumed sealed LED downlights every 1/2.5m
External Wall	Brick veneer with R2.0 insulation (insulation only value) Lightweight spandrel with R2.0 insulation External Colour: Default colour modelled
Inter tenancy walls	75 mm Hebel power panel wall between neighbours, no insulation required 75 mm Hebel power panel wall with R1.7 insulation to corridor walls 200mm concrete wall with R1.7 insulation to lift shafts and fire stairs Acoustic insulation as required
Walls within dwellings	Plasterboard on studs – no insulation
Floors	Concrete – suspended open subfloor with R1.2 or R2.0 insulation required as per Assessor Certificate Concrete between levels no insulation required
Floor coverings	Carpet to bedrooms, tiles to bathrooms and laundry, timber elsewhere
External Shading	External shading screens and fins as per stamped documentation
Central rainwater storage	Tank size: 10,000L Collecting from 1400m² roof area Connected to outdoor tap for irrigation of landscaping and two car wash bays
Hot water system	Gas instantaneous (central system) with R1.0 (73mm) insulation to ring main and supply risers
Alternative energy	45kW Photovoltaic system
Common pool	Volume: 65kL in total (131 adult and 30 kids pool) Electric heat pump gas boosted Pump controlled by a timer

BLDG D

Ⓢ SOLAR 42/60 70%
CROSS V. 36/60 60%
Ⓝ Non Solar 5/60 8%

APPLICABLE TO GF/LI

THIS WINDOW
ALLOWS FOR SOLAR
IN ACCORDANCE WITH
ADG OBJECTIVE 4A-1 CRITERIA 3.

1 Building D&E_Ground Level
1:200

APARTMENT NUMBER CHANGED FROM 98 TO 97
GROUND FLOOR
AMENDMENTS
2019-07-30

Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750
Drawing Title
General Arrangement Plans 1:200
Building D + E_Ground Level

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LF JEND
 SCREEN
 HIGH LEVEL WINDOW

P17 21.06.19 BF
 Rev. Date Approved by
 Scale 1:200 @A1, 50% @A3
 Status For DA Submission
 DA Submission
 Project No. 14064
 Revision No. 1
 Drawn by AK/18M/AD
 Rev. 1
 P18

1ST ORDER - 10M RIPARIAN
ZONE SETBACK



- BUILDING E**
- RL L3 36,050
- RL L2 32,950
- RL L1 29,850
- BUILDING D WEST**
- RL L3 36,800
- RL L2 33,700
- RL L1 30,600
- BUILDING D EAST**
- RL L3 36,550
- RL L2 33,450
- RL L1 30,350

1 Building D&E Levels 1-3
1:200

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LEGEND
SCREEN
High level window

**LEVEL 1
AMENDMENTS
2019-07-30**

Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750

Drawing Title
General Arrangement Plans 1:200
Building D + E_Level 1

P9 1496.19 BF
Rev. Date Approved by
Scale 1:200 @A1, 50% @A3
Status For DA Submission

DA Resubmission
Revision 10/10
Project No. 14064
Dwg No. DA-112-130
P10

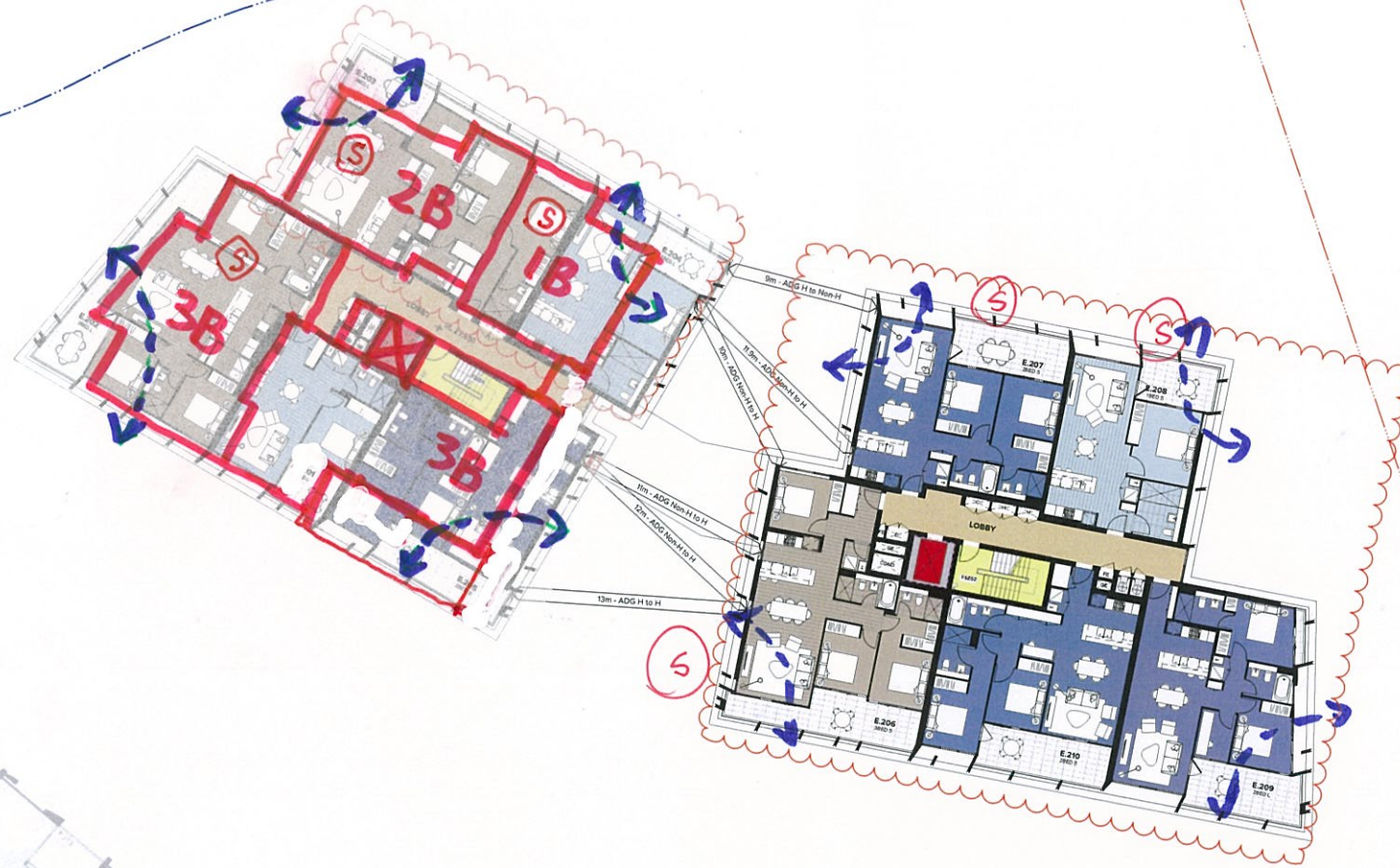
Drawn by AK/NM/AD
Rev. Rev.
North

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1ST ORDER - 10M RIPARIAN
ZONE SETBACK



- BUILDING E**
- RL L3 36,050
 - RL L2 32,950
 - RL L1 29,850
- BUILDING D WEST**
- RL L3 36,800
 - RL L2 33,700
 - RL L1 30,600
- BUILDING D EAST**
- RL L3 36,550
 - RL L2 33,450
 - RL L1 30,350

1 Building D&E Levels 1-3
1:200

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LEGEND
SCREEN
High level window

LEVEL 2
AMENDMENTS
2019-07-30

Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750

Drawing Title
General Arrangement Plans 1:200
Building D + E Level 2

P9 14.05.19 BF
Rev. Date Approved by
Scale 1:200 @A1 50%@A3
Status For DA Submission

DA Resubmission
Revision No. 14064
Project No. DA-112-131
Rev P1

Drawn by AKI/MML/AD DB/ML/JP
Rev

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BUILDING E	
- RL L3 36,050	
- RL L2 32,950	
- RL L1 29,850	
BUILDING D WEST	BUILDING D EAST
- RL L3 36,800	- RL L3 36,550
- RL L2 33,700	- RL L2 33,450
- RL L1 30,600	- RL L1 30,350

1 Building D&E_Levels 1-3
1:200

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LEGEND

SCREEN	Screen
HIGH W	High level window

LEVEL 3
AMENDMENTS
2019-07-30

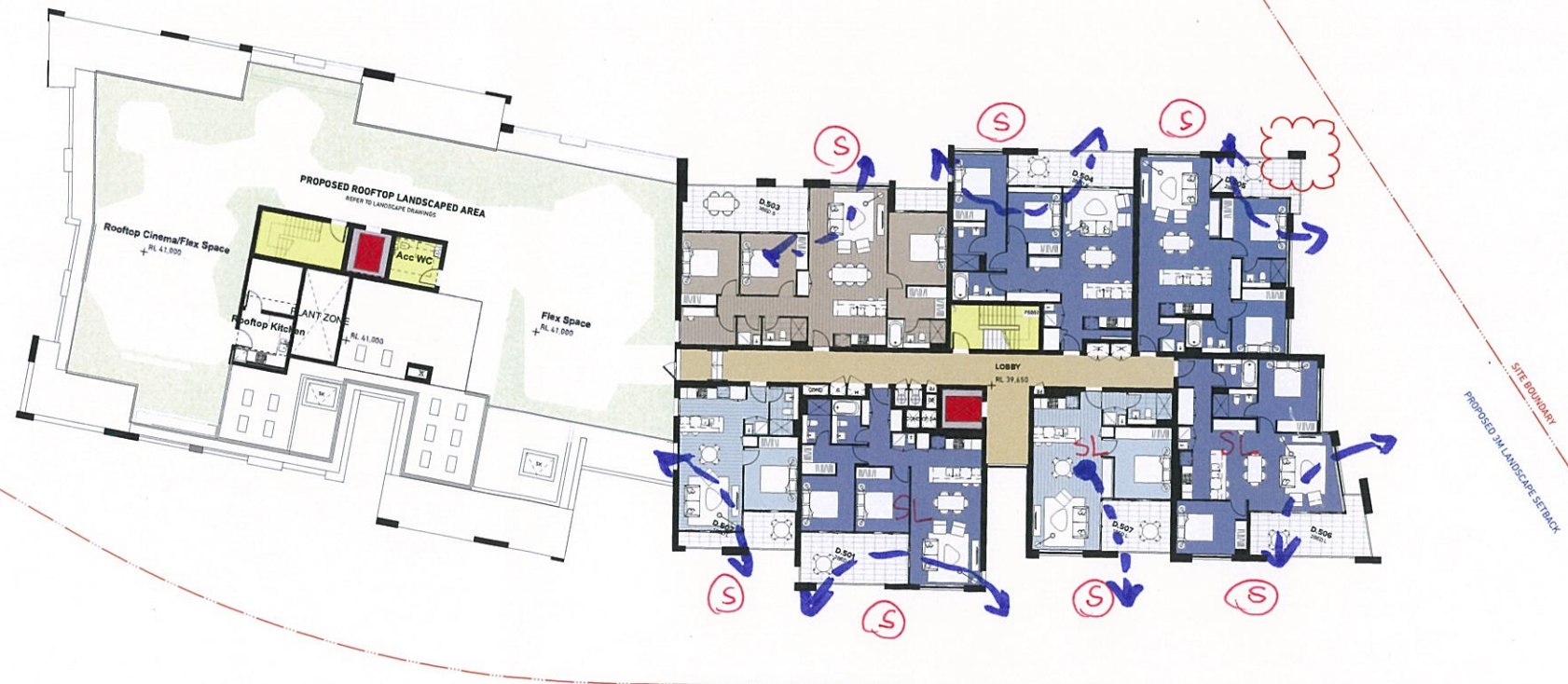
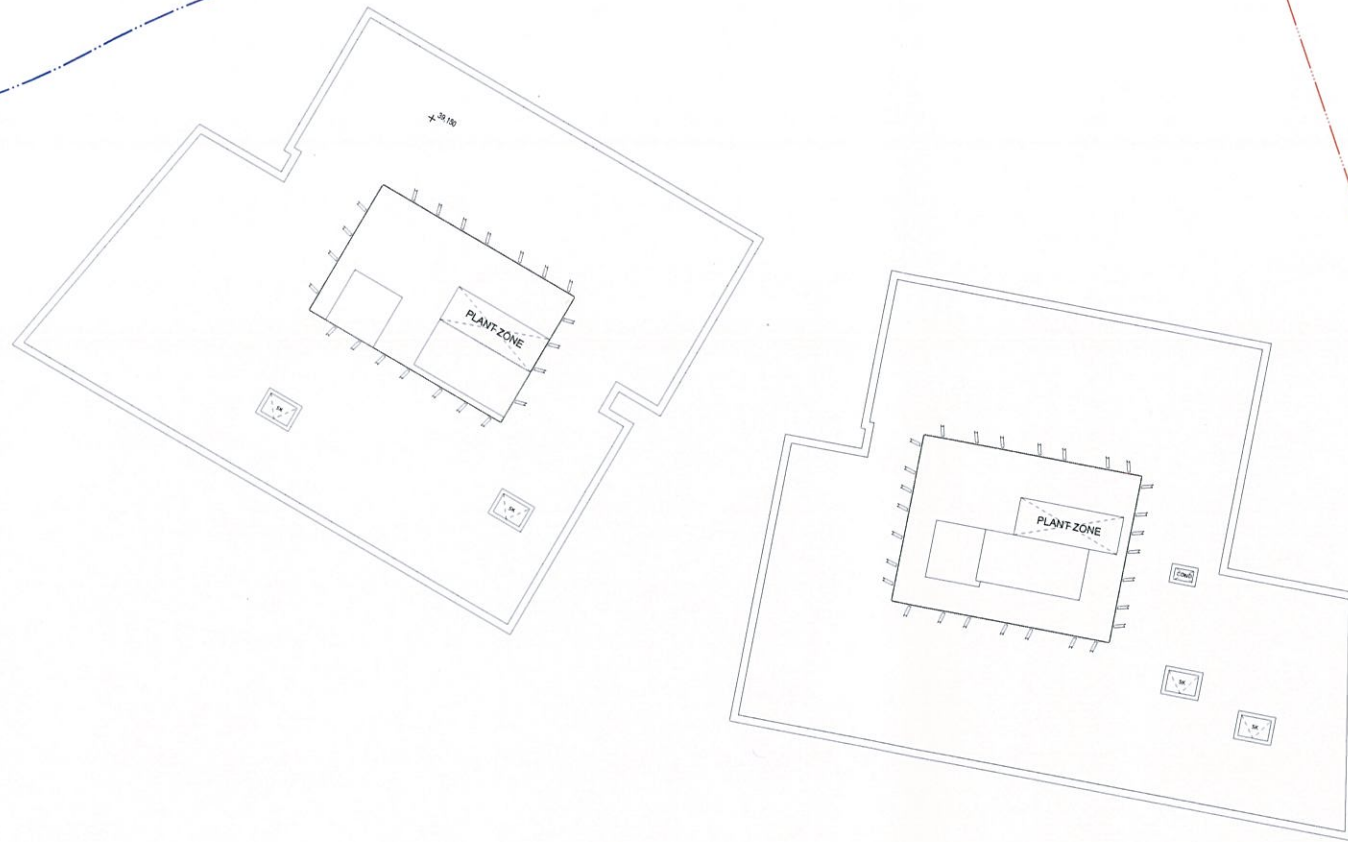
Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750

Drawing Title
General Arrangement Plans 1:200
Building D + E_Level 3

P9	14.06.19 BF	DA Resubmission	
Riv.	Date	Revision	Notes
1:00	Approved by	Project No.	Drawn by AKI / NM / AG
Scale @A1, 50% @A3		14064	North
Status		Orig No.	DA / M / B / P
For DA Submission		DA-112-132	P1

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10M SETBACK LINE TO CREEK



1 Building D&E_Level 4
1:200

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T: 02 8818 3600

LEGEND
SCREEN
High level window

**LEVEL 4
AMENDMENTS
2019-07-30**

Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750

Drawing Title
General Arrangement Plans 1:200
Building D + E_Level 4

Rev.	Date	Approved by	Revision Notes
P3	06.06.19	BF	DA Resubmission

Scale	Project No.	Drawn by	North
1:200 @A1, 50% @A3	14064	AK/IM/AD	↑

Status	Orig No.	Rev
For DA Submission	DA-112-140	P10

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Part 2 -STAGE PLAN AMENDMENT – BUILDING F

THERMAL COMFORT INCLUSION
STAGE 3

Glazing Doors/Windows

Aluminium framed clear performance glazing:
A – awning windows – hinged glazed doors
U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±10%)
B – sliding doors/windows – fixed glazing – louvre windows
U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)
Aluminium framed double performance glazing as per assessor certificate:
U-Value: 4.10 (equal to or lower than) SHGC: 0.52 (±10%)
Given values are AFRC, total window system values (glass and frame)

Roof

Concrete roof no insulation
External Colour: Default colour modelled

Ceiling

Plasterboard ceiling, R2.5 insulation (insulation only value) where exposed roof and terrace above (R4.0 insulation to unit G 509 only)
Plasterboard ceiling, R1.5 insulation (insulation only value) where balconies are above
Plasterboard ceiling, no insulation where neighbouring units are above

Ceiling Penetrations

Assumed sealed LED downlights every 1/2.5m

External Wall

Brick veneer with R2.0 insulation (insulation only value)
Lightweight spandrel with R2.0 insulation
External Colour: Default colour modelled

Inter tenancy walls

75 mm Hebel power panel wall between neighbours, no insulation required
75 mm Hebel power panel wall with R1.7 insulation to corridor walls
200mm concrete wall with R1.7 insulation to lift shafts and fire stairs
Acoustic insulation as required

Walls within dwellings

Plasterboard on studs – no insulation

Floors

Concrete – suspended open subfloor with R1.2 insulation required as per Assessor Certificate
Concrete between levels no insulation required

Floor coverings

Carpet to bedrooms, tiles to bathrooms and laundry, timber elsewhere

External Shading

External shading screens and fins as per stamped documentation

Hot water system

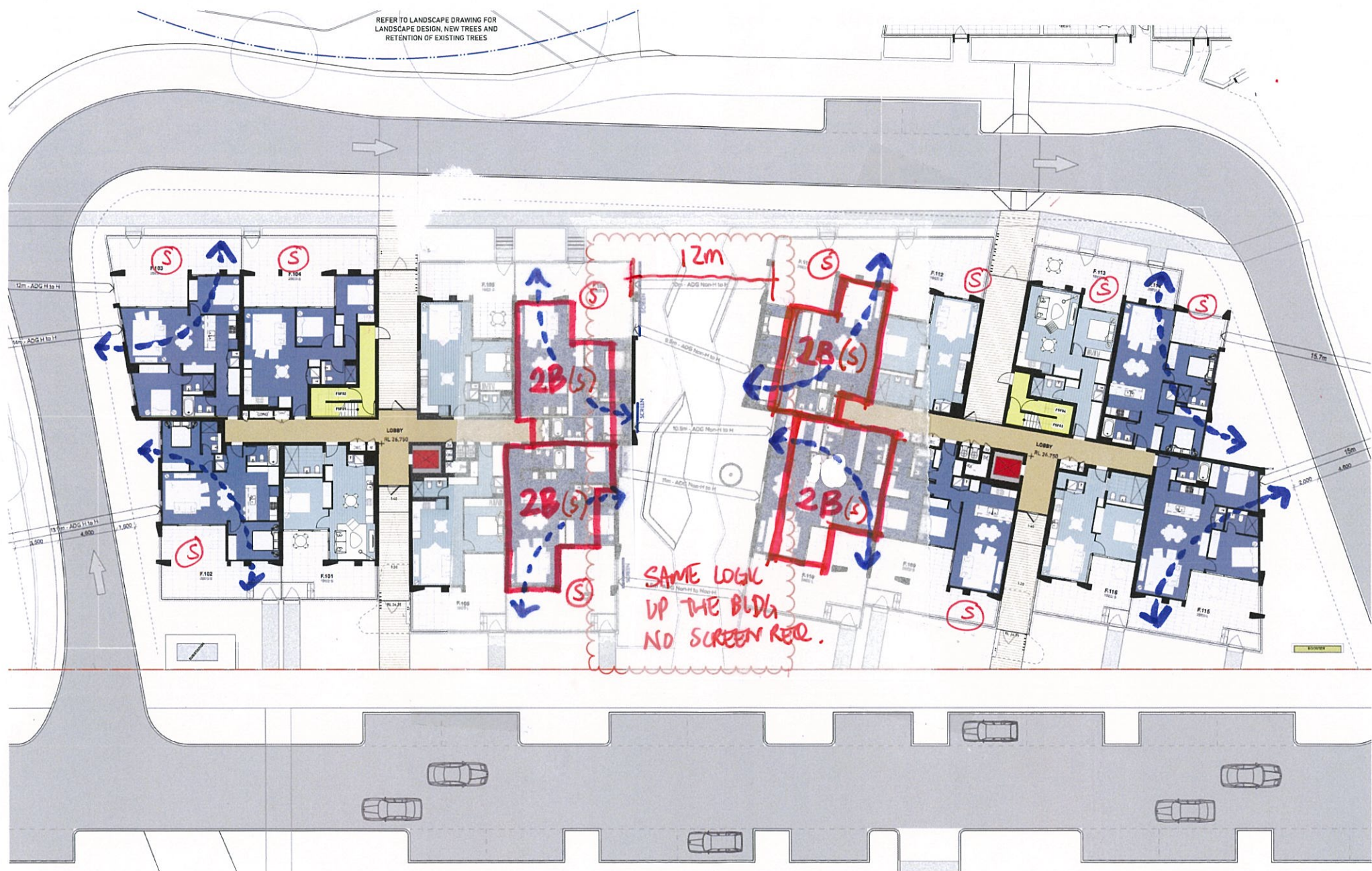
Central gas-fired boiler with R1.0 (38mm) insulation to ring main and supply risers

Central rainwater storage

Tank size: 10,000L
Collecting from 1800m² roof area
Connected to outdoor tap for irrigation of landscaping and three car wash bays

Alternative Energy

5kW PV system required



BLDG F (WEST)				BLDG F (EAST)			
(S)	SOLAR	29/40	73%	(S)	SOLAR	25/32	78%
(NS)	CROSS V.	28/40	70%	(NS)	CROSS V.	22/32	69%
(NS)	Non Solar	0/40	0%	(NS)	Non Solar	0/40	0%
APARTMENT NUMBER REMAINS.							

1 Building F_Ground Level
1:200

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LEGEND
SCREEN
High level window

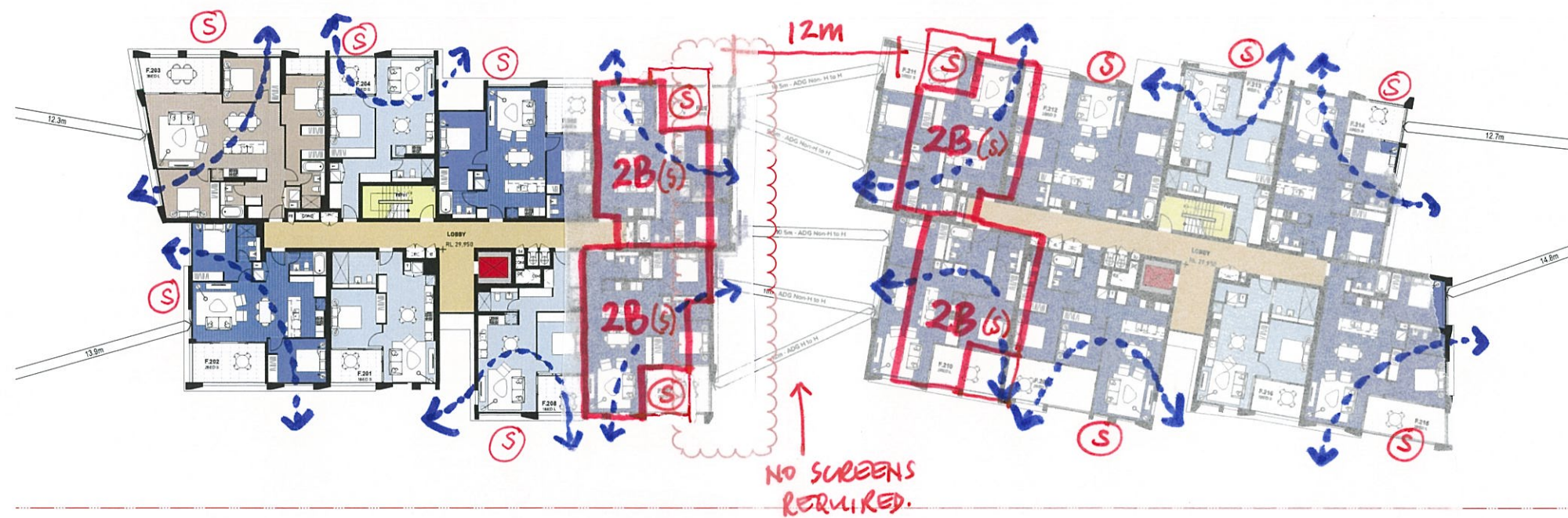
GROUND FLOOR
AMENDMENTS
2019-07-30

Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750
Drawing Title
General Arrangement Plans 1:200
Building F_Ground Level

Rev.	Date	Approved by	Revision Notes	Project No.	14064	Drawn by	AKI/MML/AD	Rev	North
Scale	1:200 @A1, 50% @A3			Dwg No.	DA-112-220	P13			
Status	For DA Submission								

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BUILDING F
 - RL L2 33,050
 - RL L1 29,950

1 Building F Levels 1&2
 1:200

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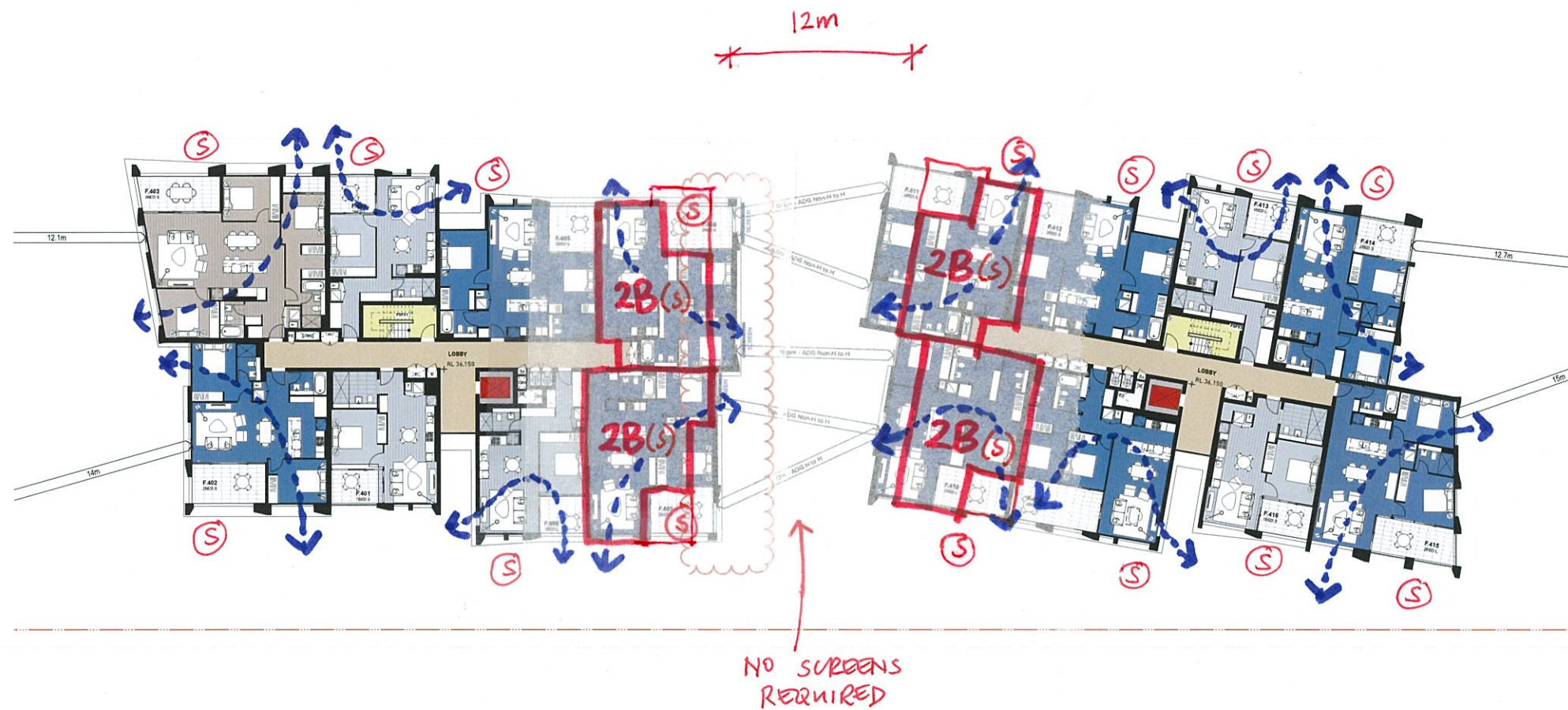
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LEGEND
 SCREEN
 HIGH LEVEL WINDOW

**LEVEL 1 - 2
 AMENDMENTS
 2019-07-30**

Project Title
Mixed Use Development
 Panthers North Precinct Penrith NSW 2750
 Drawing Title
General Arrangement Plans 1:200
 Building F Levels 1&2

P9 06.06.19 BF
 Rev Date Approved by
 Scale 1:200 @ A1, 50% @ A3
 Status For DA Submission
 Project No. 14064
 Dwg No. DA-112-230
 Rev P10
 Drawn by AK / NW / AG
 DB / BL / BF
 North
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1 Building F_Level 3
1:200

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Name and Address: Northcote, Victoria 3061, Australia Tel: 03 9483 3434

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LEGEND
SCREEN Screen
H/L W High level window

**LEVEL 3
AMENDMENTS
2019-07-30**

Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750
Drawing Title
General Arrangement Plans 1:200
Building F_Level 3

P9	06.06.19	BF	DA Resubmission
Rev	Date	Approved by	Revision Notes
Scale	1:200 @ A1, 50% @ A3	Project No.	14064
Status	For DA Submission	Dwg No.	DA-112-240
Drawn by	AK / NW / AG	Rev	P10
Check by	DB / ML / BF		

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Part 2 -STAGE PLAN AMENDMENT – BUILDING G

THERMAL COMFORT INCLUSION STAGE 3

Glazing Doors/Windows

Aluminium framed clear performance glazing:
A – awning windows + hinged glazed doors
U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±10%)
B – sliding doors/windows + fixed glazing + louvre windows
U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)
Aluminium framed double performance glazing as per assessor certificate
U-Value: 4.10 (equal to or lower than) SHGC: 0.52 (±10%)
Given values are AFRC, total window system values (glass and frame)

Roof

Concrete roof no insulation
External Colour: Default colour modelled

Ceiling

Plasterboard ceiling, R2.5 insulation (insulation only value) where exposed roof and terrace above (R4.0 insulation to unit G.509 only)
Plasterboard ceiling, R1.5 insulation (insulation only value) where balconies are above
Plasterboard ceiling, no insulation where neighbouring units are above

Ceiling Penetrations

Assumed sealed LED downlights every 1/2.5m

External Wall

Brick veneer with R2.0 insulation (insulation only value)
Lightweight spandrel with R2.0 insulation
External Colour: Default colour modelled

Inter tenancy walls

75 mm Hebel power panel wall between neighbours, no insulation required
75 mm Hebel power panel wall with R1.7 insulation to corridor walls
200mm concrete wall with R1.7 insulation to lift shafts and fire stairs
Acoustic insulation as required

Walls within dwellings

Plasterboard on studs – no insulation

Floors

Concrete – suspended open subfloor with R1.2 insulation required as per Assessor Certificate
Concrete between levels no insulation required

Floor coverings

Carpet to bedrooms, tiles to bathrooms and laundry, timber elsewhere

External Shading

External shading screens and fins as per stamped documentation

Hot water system

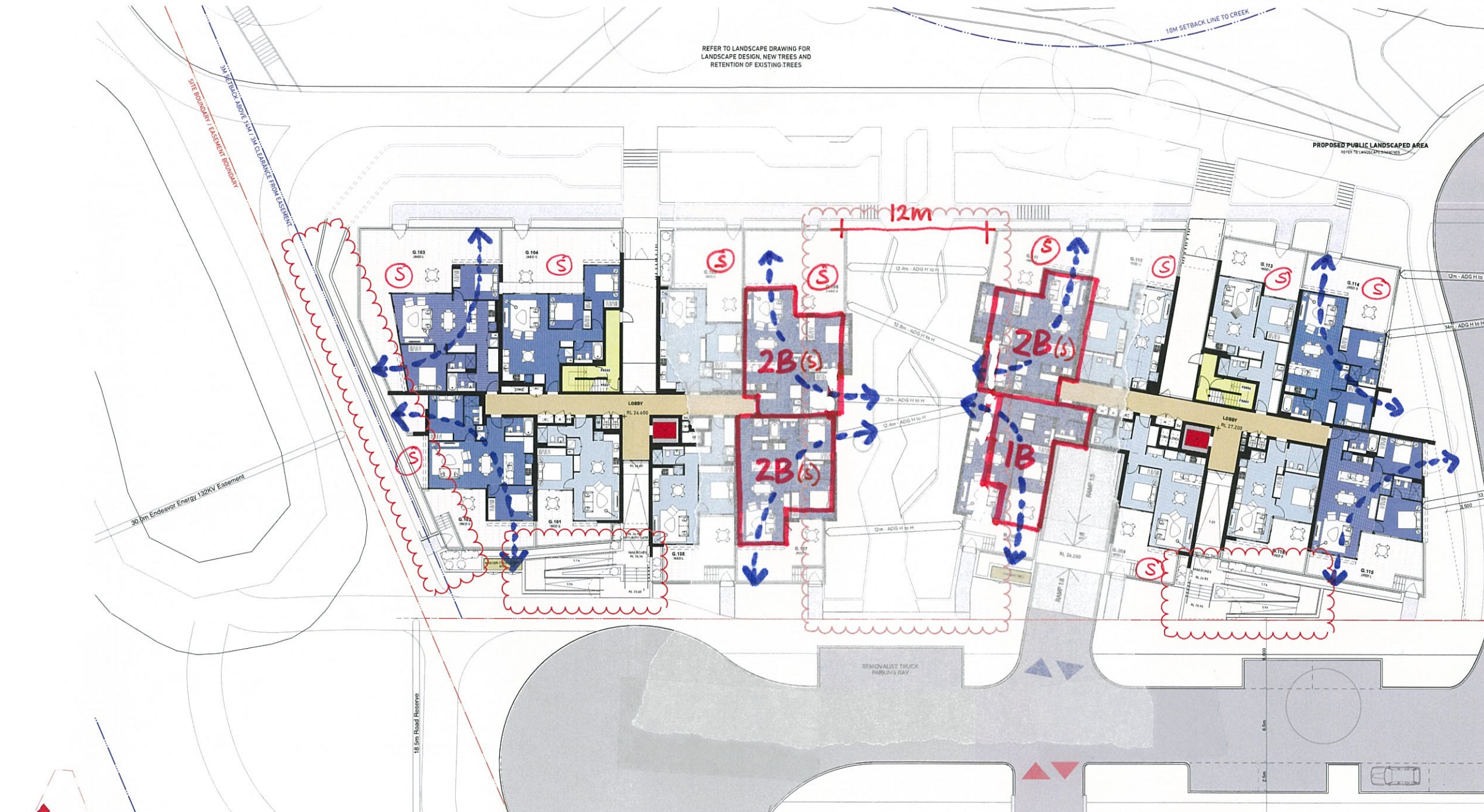
Central gas-fired boiler with R1.0 ("38mm) insulation to ring main and supply risers

Central rainwater storage

Tank size: 10,000L
Collecting from 1800m² roof area
Connected to outdoor tap for irrigation of landscaping and three car wash bays

Alternative Energy

SkW PV system required



BLDA A (WEST)
 (S) SOLAR 29/40 73%
 (S) CROSS V 28/40 70%
 (NS) NON SOLAR 0/40

BLDA A (EAST)
 (S) SOLAR 26/34 76%
 (S) CROSS V 24/34 71%
 (NS) NON SOLAR 0/34

* APARTMENT NUMBERS REDUCED BY 2 TO 74

GROUND FLOOR
AMENDMENTS
2019-07-30

1 Building G_Ground Level
1:200

LEGEND
 SCREEN
 High level window

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Project Title
 Mixed Use Development
 Panthers North Precinct Penrith NSW 2750
 Drawing Title
 General Arrangement Plans 1:200
 Building G_Ground Level

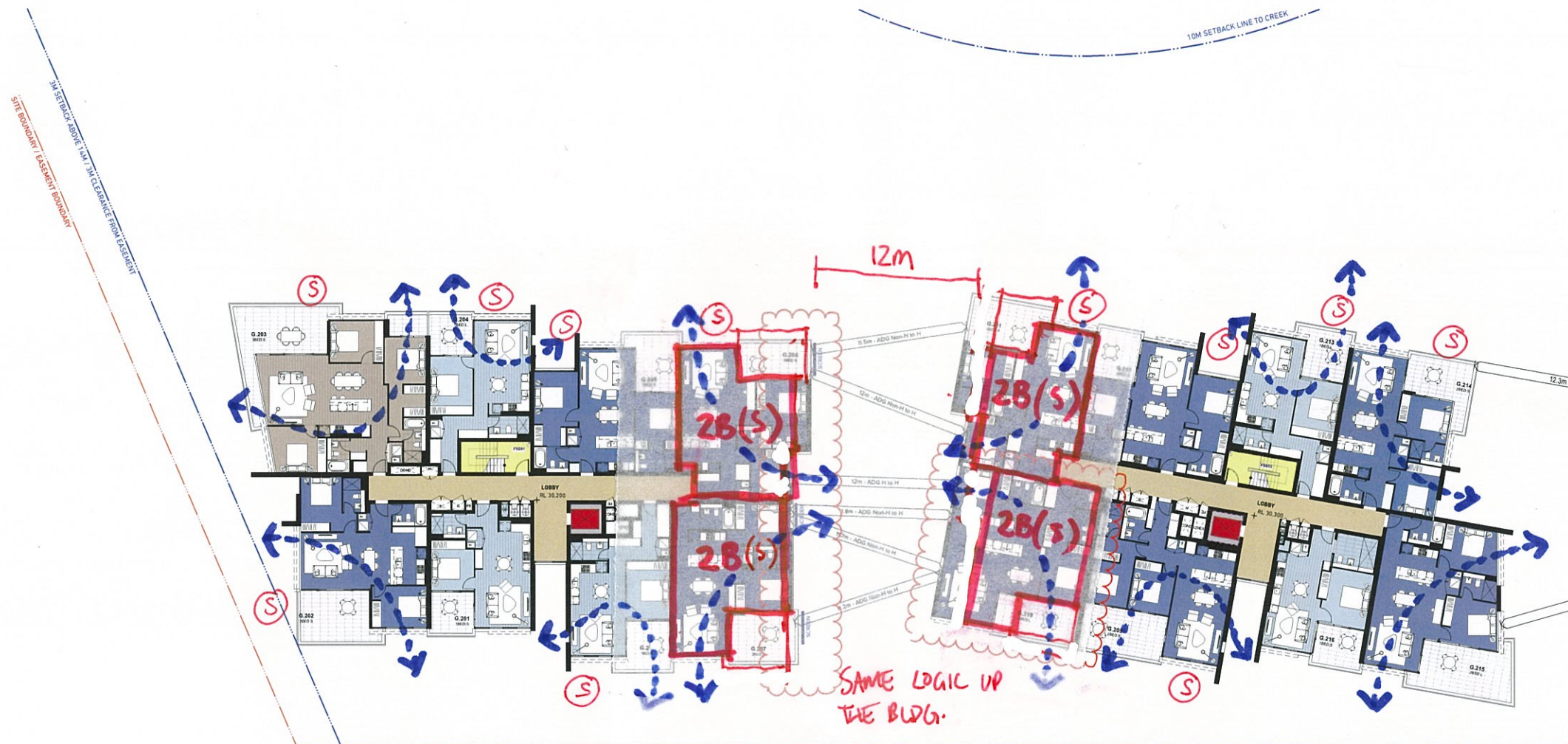
P14 14.06.19 BF
 Rev. Date Approved by
 Scale 1:200 @ A1, 50% @ A3
 Status For DA Submission
 Project No. 14064
 Dwg No. DA-112-320
 Drawn by AK/IM/AD
 Rev. P15
 North

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DLCS Quality Extended Category 100 9201 2018 Registration Number 25476
 Registration Number 1006, APR 20, 2018 01:01



SAME LOGIC UP
THE BLDG.



1 Building G_Level 1
1:200

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Turner and Associates Pty Ltd ABN 60 004 284 911


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LEGEND
SCREEN
H/L W High level window

**LEVEL 1
AMENDMENTS
2019-07-30**

Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750

Drawing Title
General Arrangement Plans 1:200
Building G_Level 1

P9	06.06.19	BF	DA Resubmission		
Rev.	Date	Approved by	Revision Notes		
Scale			Project No.	14064	North
1:200 @A1, 50% @A3			Dwg No.	DA-112-330	
Status					
For DA Submission					

TURNER

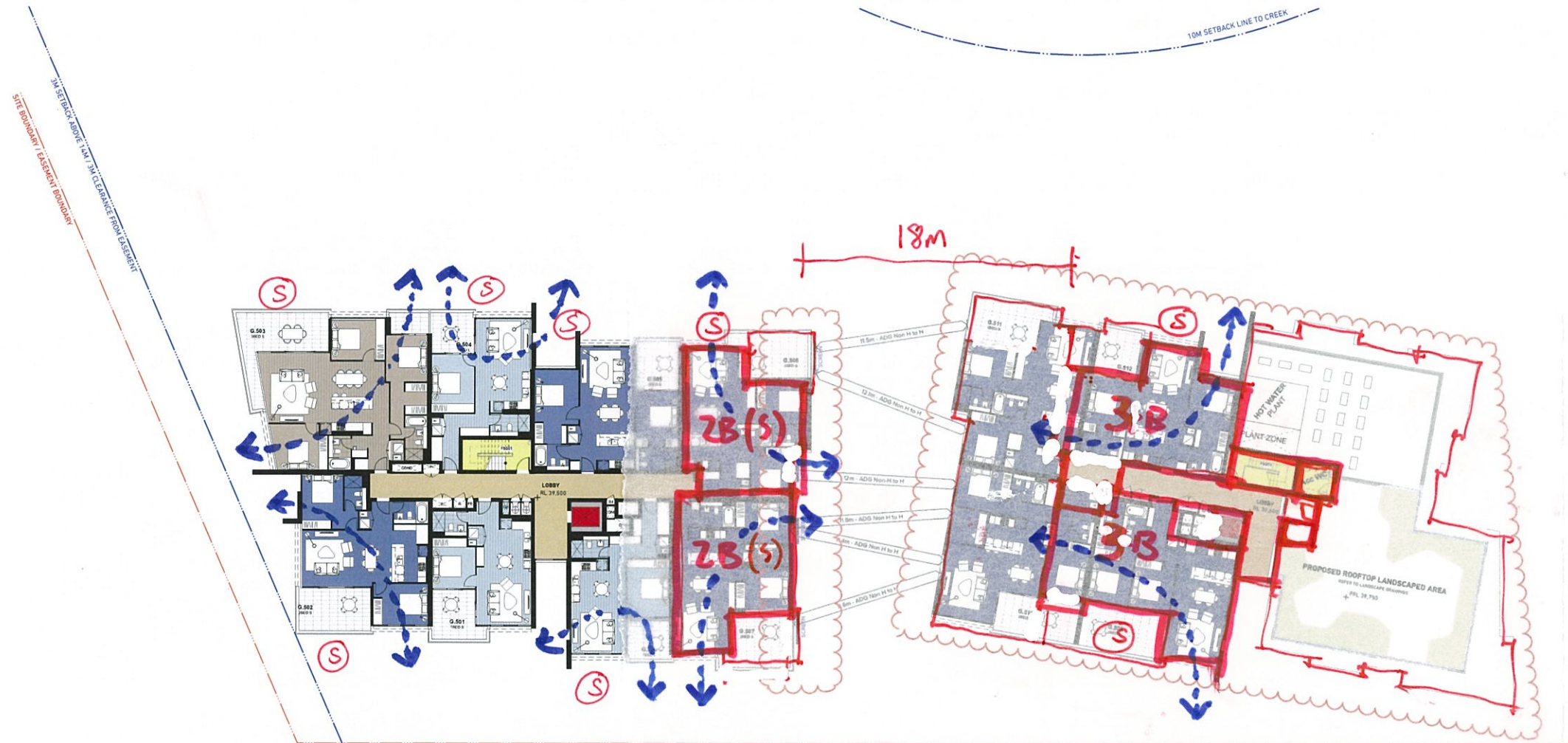
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DLCS Quality Endorsed Company ISO 9001:2008, Registration Number 23478
Nominated Architect Nicholas Turner 0025 428 50 264 264 911

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1 Building G_Level 4
1:200

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DLCC Quality Control Company: 02 9317 2018, Registration Number 25475
New South Wales: 10/01/2018, 10/01/2018, 10/01/2018

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LEGEND
SCREEN
High level window

**LEVEL 4
AMENDMENTS
2019-07-30**

Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750

Drawing Title
General Arrangement Plans 1:200
Building G_Level 4

P9
Rev: 06.06.19 BF
Date: 06.06.19
Approved by: [Signature]
Project No: 14064
Status: For DA Submission

DA Resubmission
Revision Notes:
Project No: 14064
Drawn by: AKI/MAR/AG
Rev: 08/10/19
P10

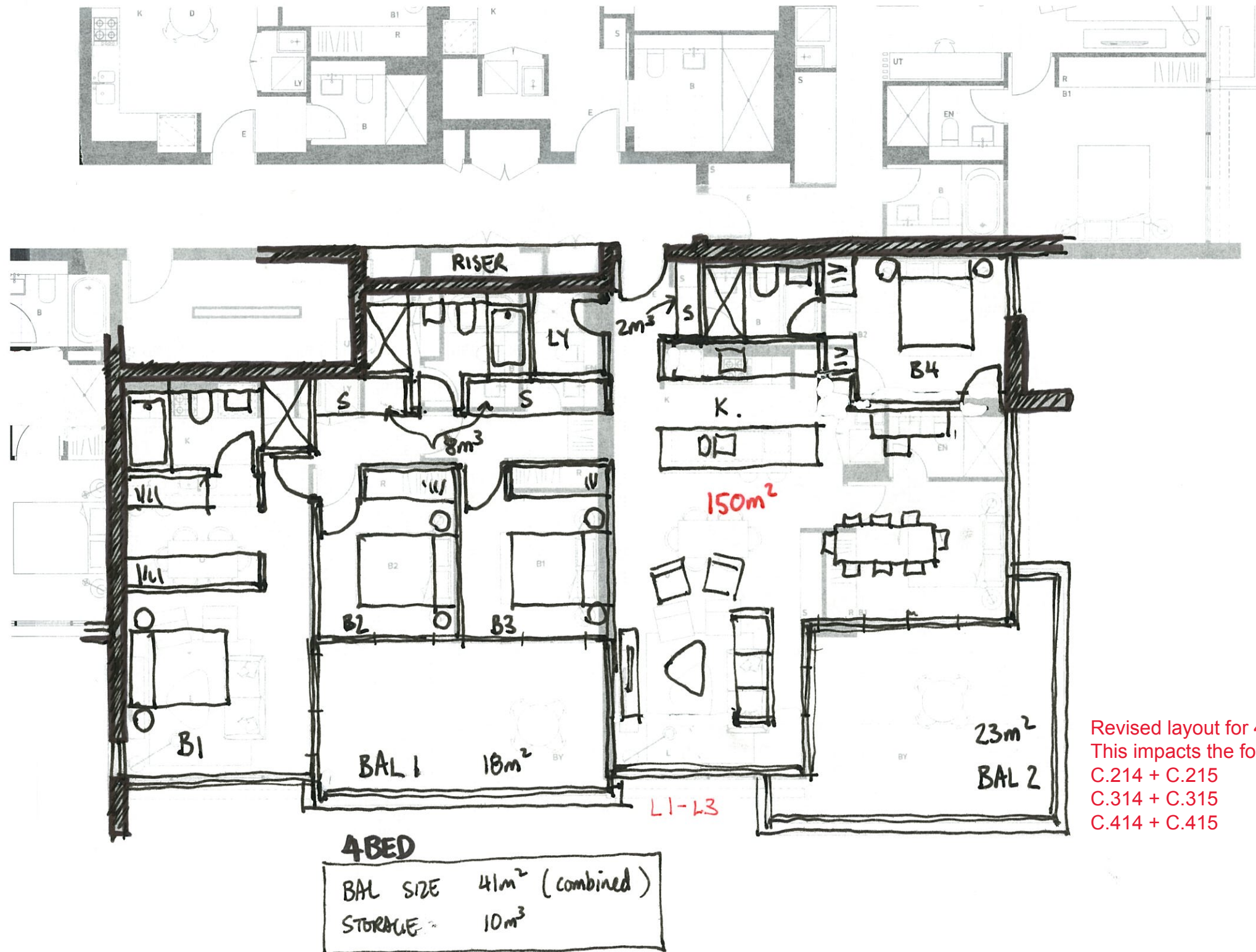
DA-112-360

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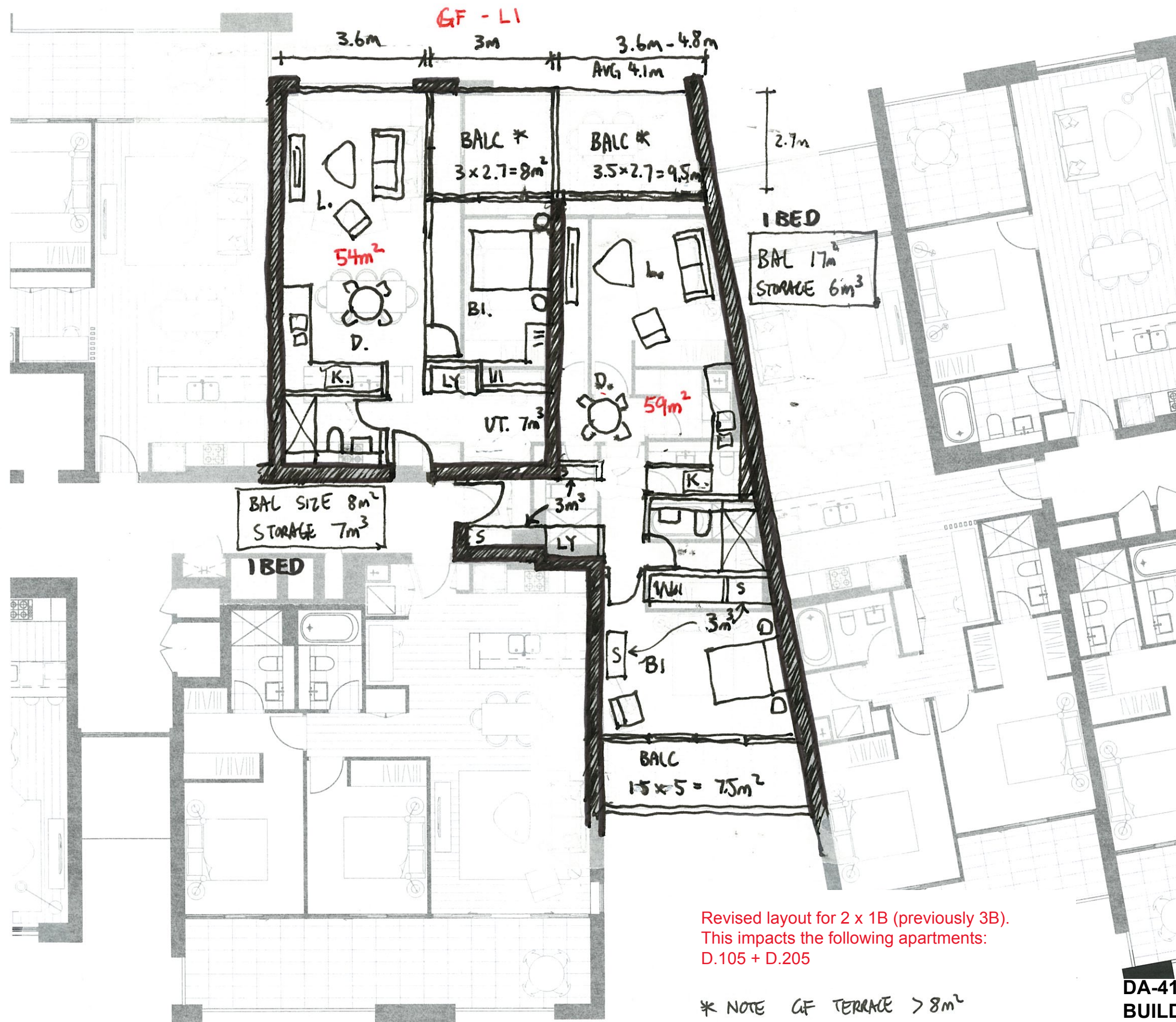
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Part 3 -APARTMENT PLAN AMENDMENT – BUILDING C



Revised layout for 4B (previously 1B + 2B).
 This impacts the following apartments:
 C.214 + C.215
 C.314 + C.315
 C.414 + C.415

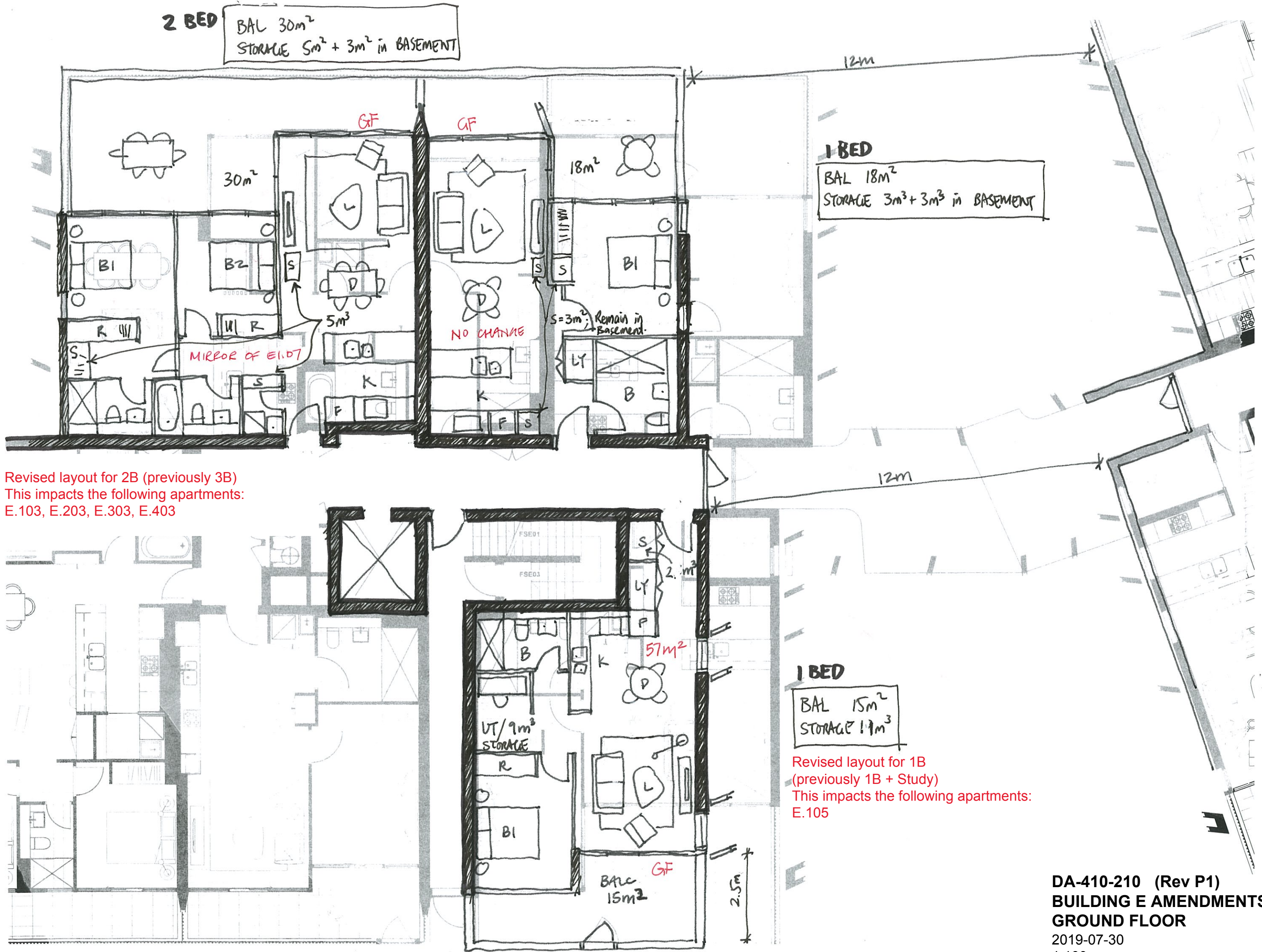
Part 3 -APARTMENT PLAN AMENDMENT – BUILDING D

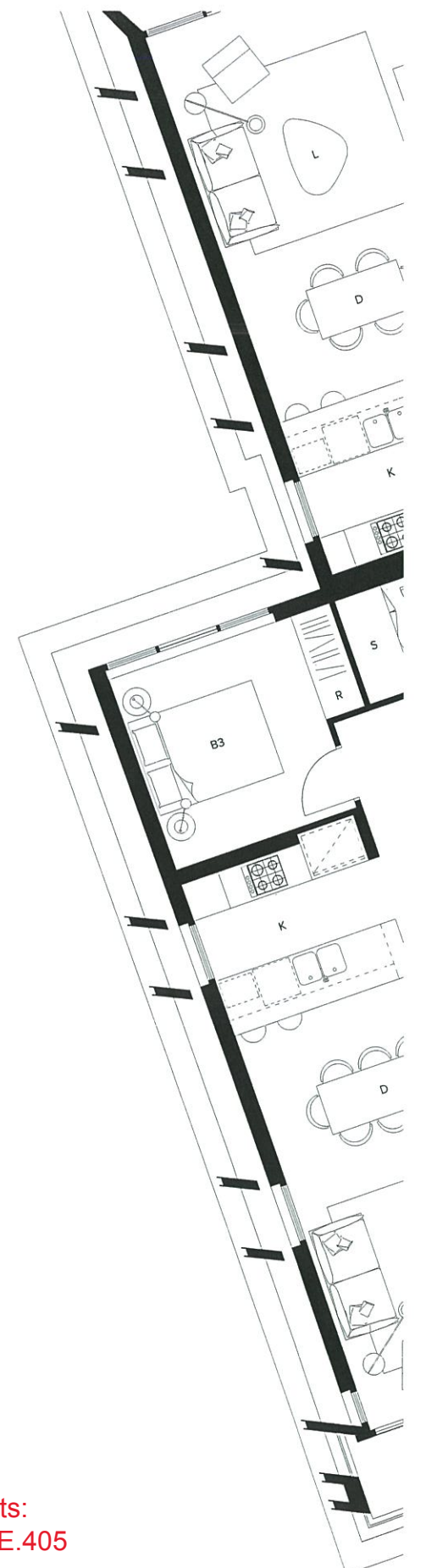
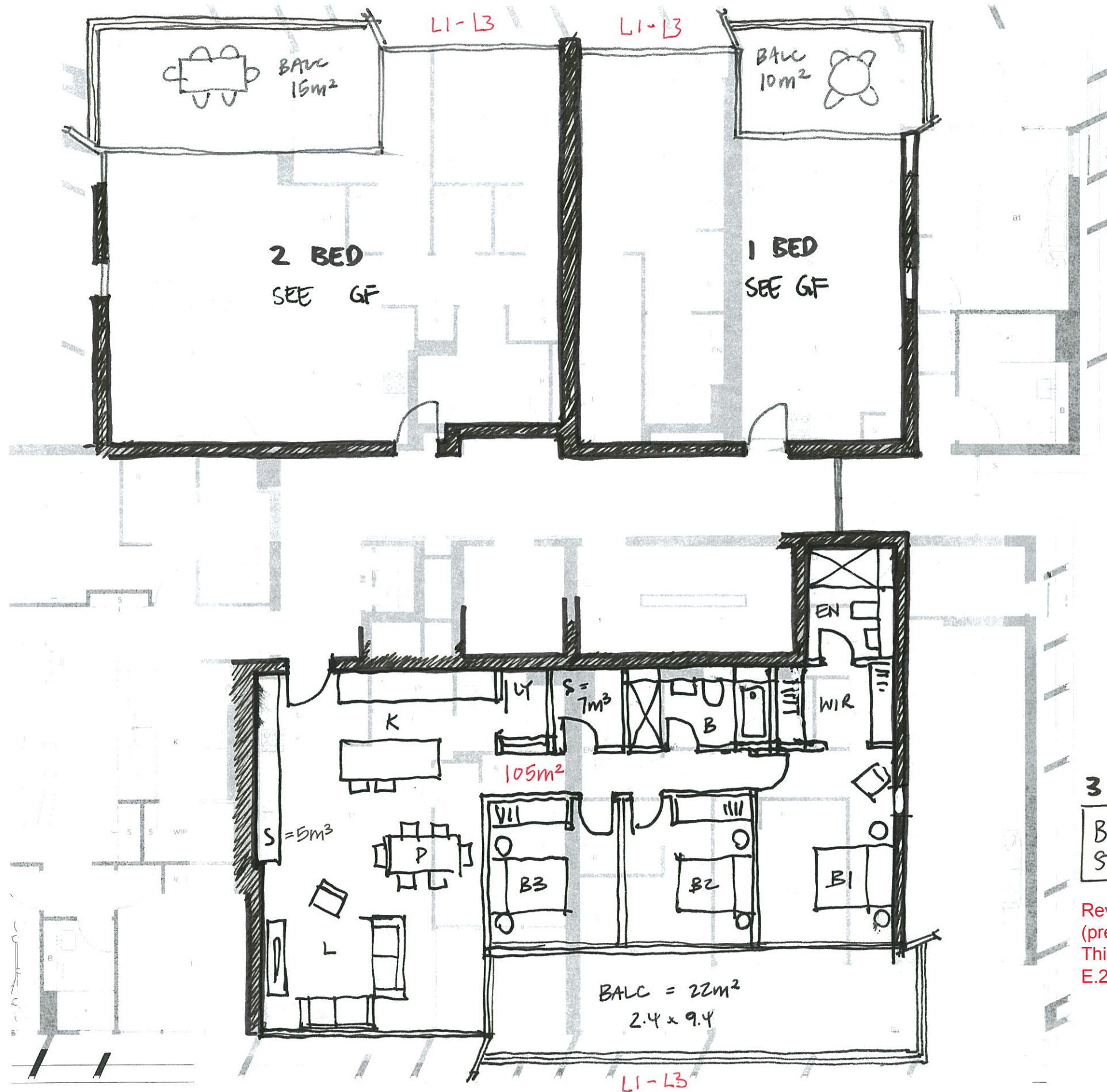


Revised layout for 2 x 1B (previously 3B).
This impacts the following apartments:
D.105 + D.205

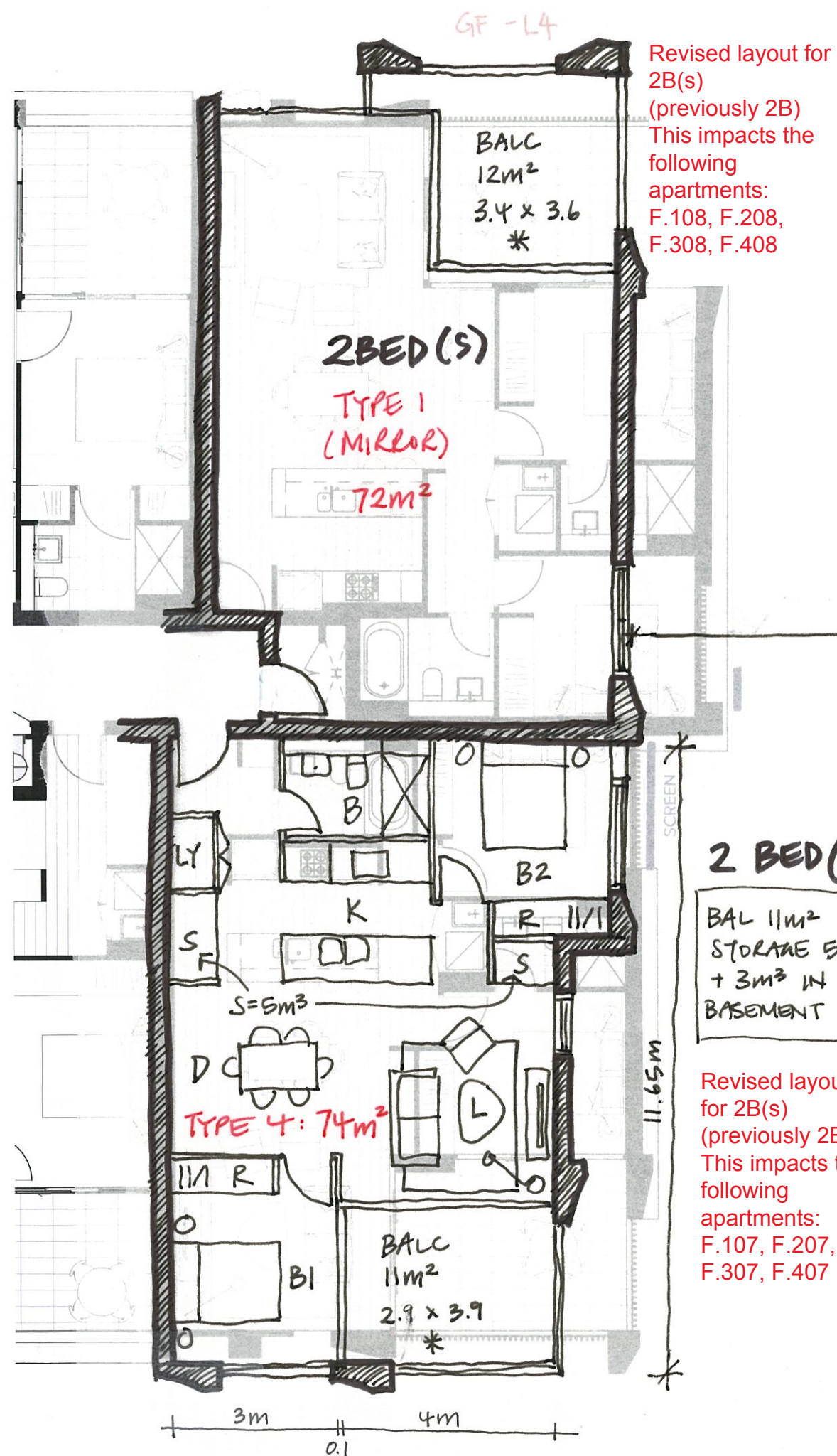
* NOTE GF TERRACE $> 8m^2$

Part 3 -APARTMENT PLAN AMENDMENT – BUILDING E





Part 3 -APARTMENT PLAN AMENDMENT – BUILDING F

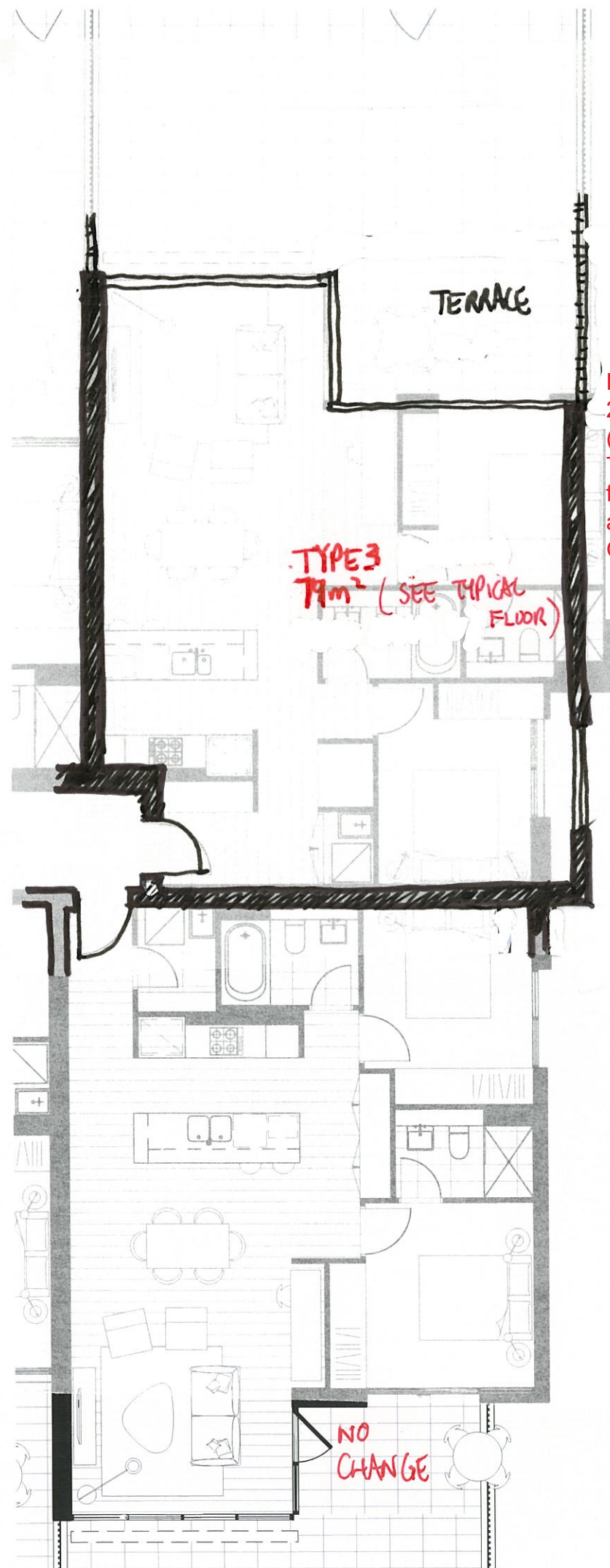


* NOTE: GF TERRACE > 10m²

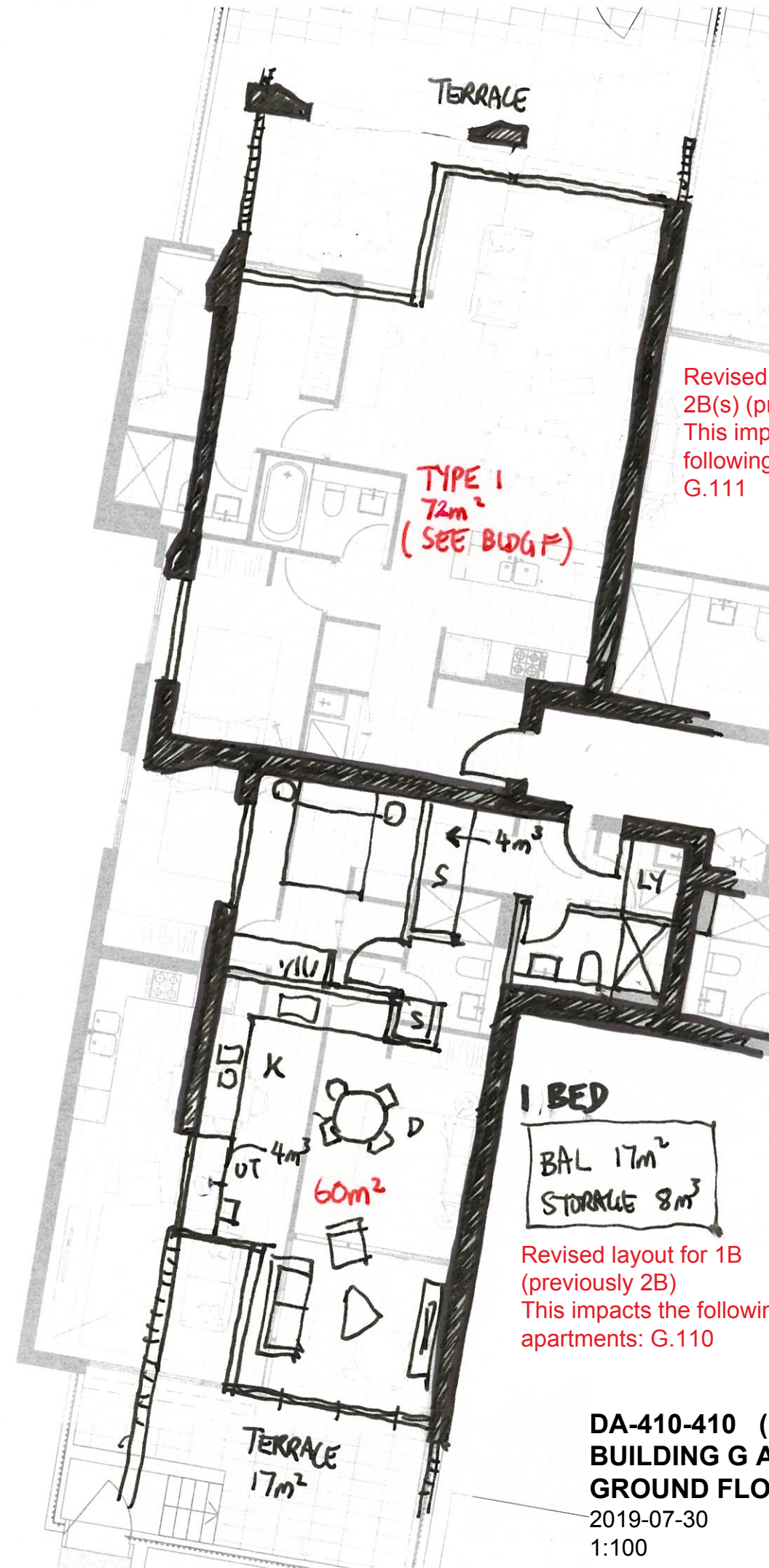
DA-410-310 (Rev P1)
BUILDING F AMENDMENTS
GROUND FLOOR - L4

2019-07-30
1:100

Part 3 -APARTMENT PLAN AMENDMENT – BUILDING G



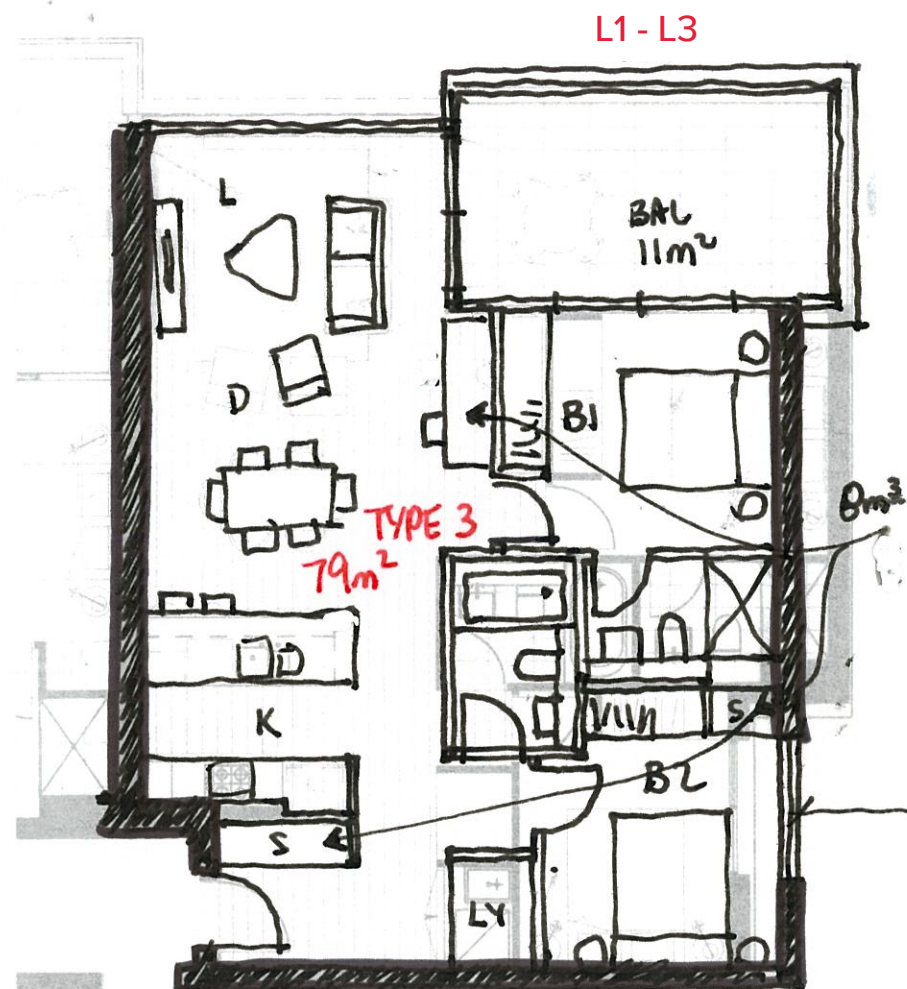
Revised layout for
2B(s)
(previously 2B)
This impacts the
following
apartments:
G.106



Revised layout for
2B(s) (previously 2B)
This impacts the
following apartments:
G.111

Revised layout for 1B
(previously 2B)
This impacts the following
apartments: G.110

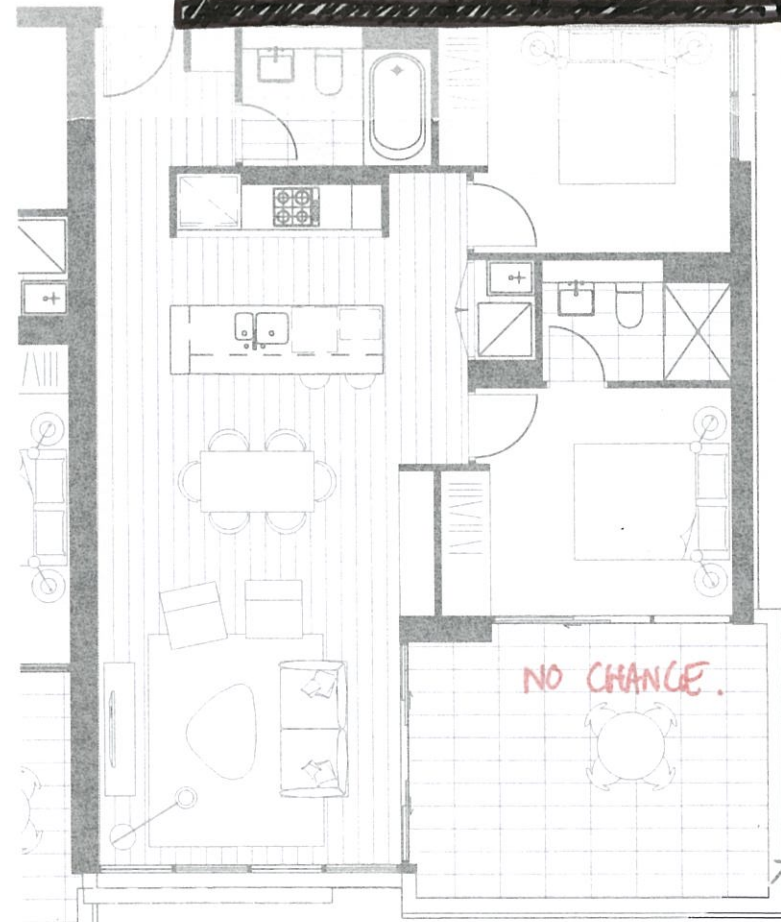
DA-410-410 (Rev P1)
BUILDING G AMENDMENTS
GROUND FLOOR
2019-07-30
1:100



2 BED

BAL 11m²
STORAGE 8m³

Revised layout for 2B(s)
(previously 2B)
This impacts the
following apartments:
G.206, G.306, G.406



NO CHANGE.



Revised layout for
2B(s) (previously 2B)
This impacts the
following apartments:
G.211, G.311, G.411

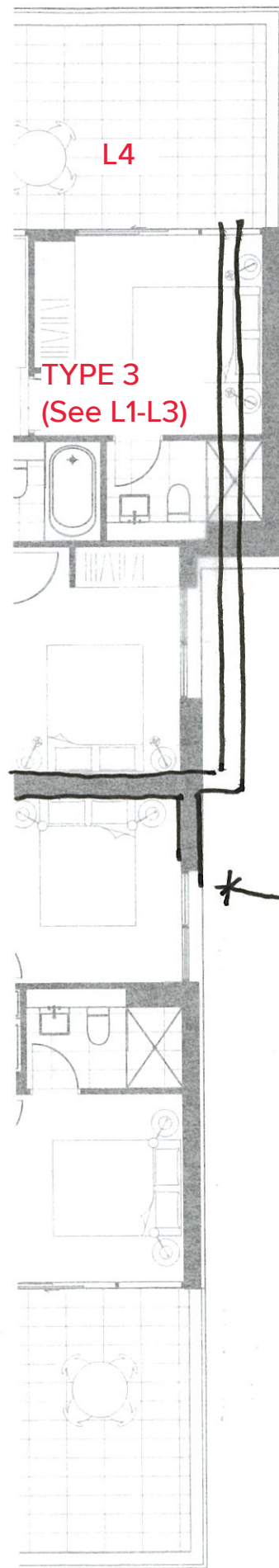
TYPE 1
72m²
(SEE BLDG F)

TYPE 2
74m²
(SEE BLDG F)

Revised layout for
2B(s)
(previously 2B)
This impacts the
following
apartments:
G.210, G.310,
G.410

DA-410-420 (Rev P1)
BUILDING G AMENDMENTS
LEVEL 1 - 3

2019-07-30
1:100



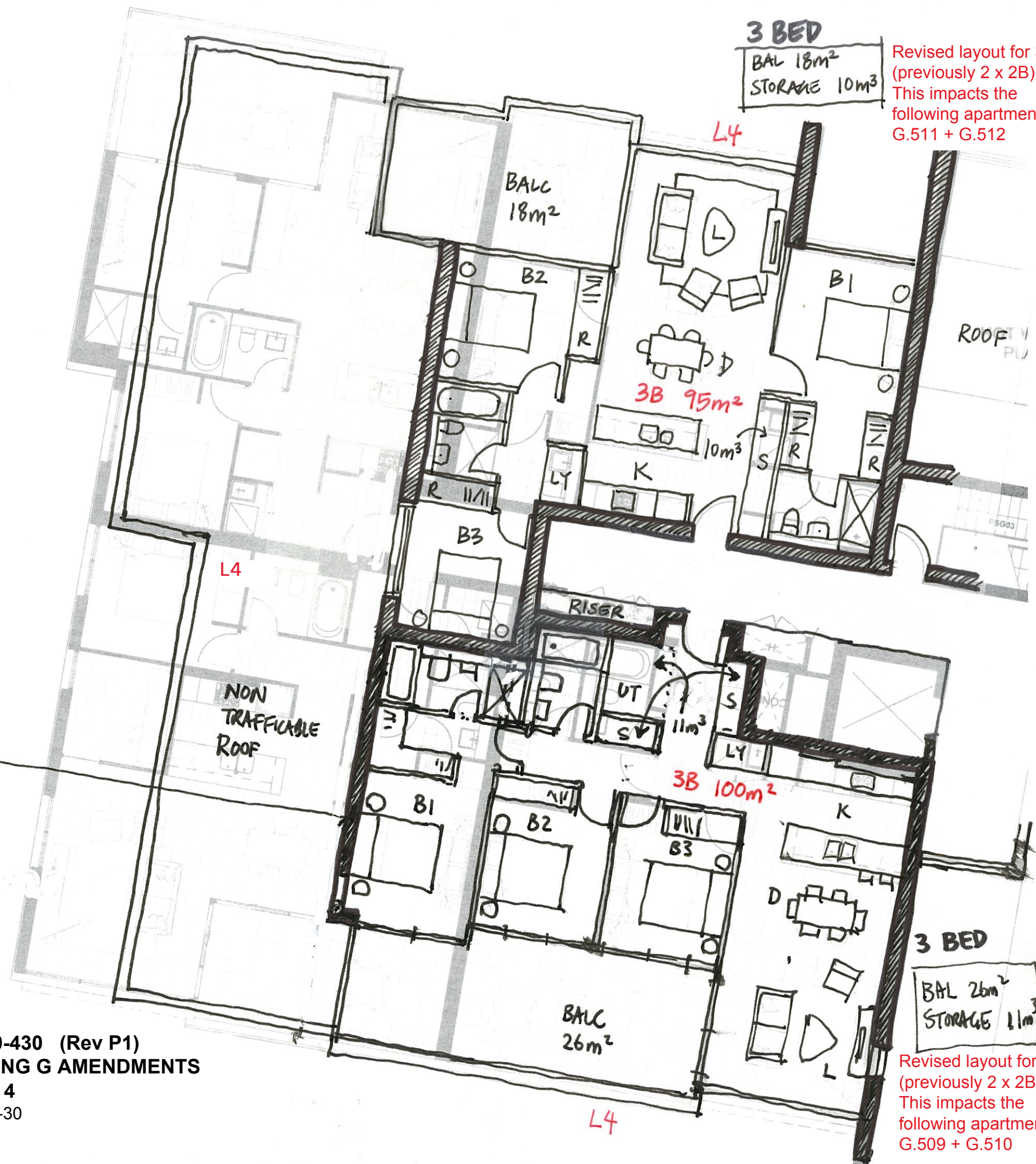
L4

TYPE 3
(See L1-L3)

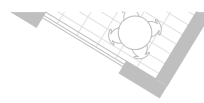
Revised layout for 2B(s)
(previously 2B)
This impacts the
following apartments:
G.506

18m

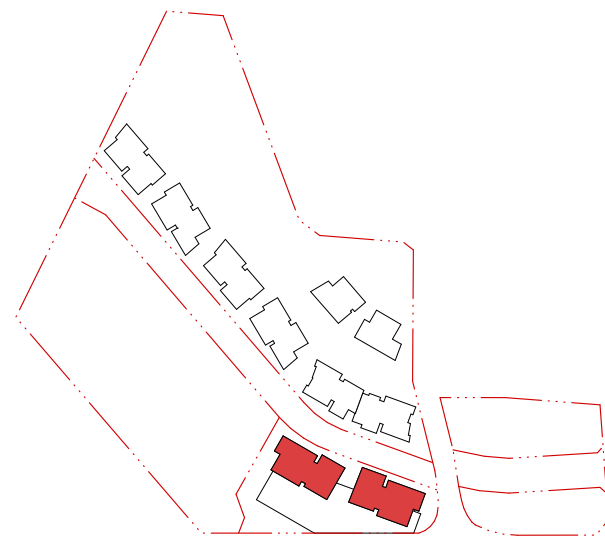
DA-410-430 (Rev P1)
BUILDING G AMENDMENTS
LEVEL 4
2019-07-30
1:100



Part 4 – BALCONY COMPLIANCE



REFER TO PART 3 (1:100
APARTMENT PLAN
DA-410-010)



BALCONIES

**AS PER ADG REQUIREMENTS 4E1:
ALL APARTMENTS ARE REQUIRED TO HAVE PRIMARY BALCONIES AS
FOLLOWS:

- STUDIO - 4m²
1 Bed - 8m² (2m min. depth)
2 Bed - 10m² (2m min. depth)
3 Bed (+) - 12m² (2.4m min. depth)

1 Building C_Typical
1:200

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Notified Architect Nicholas Turner 6885, APR 98 594 594 811

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Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750

Drawing Title
**ADG
Bldg C Typical**

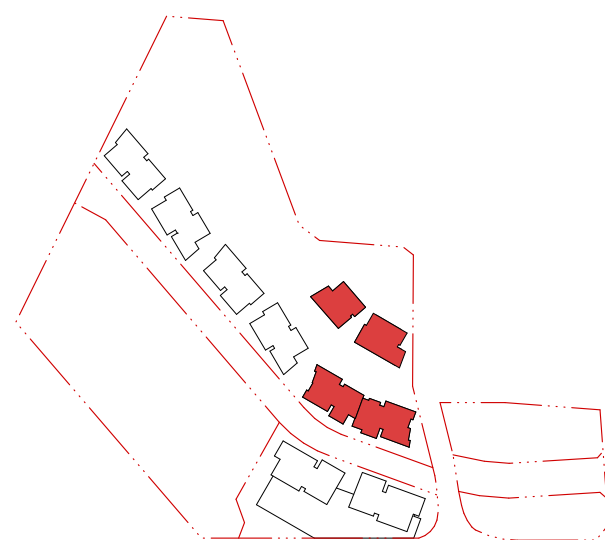
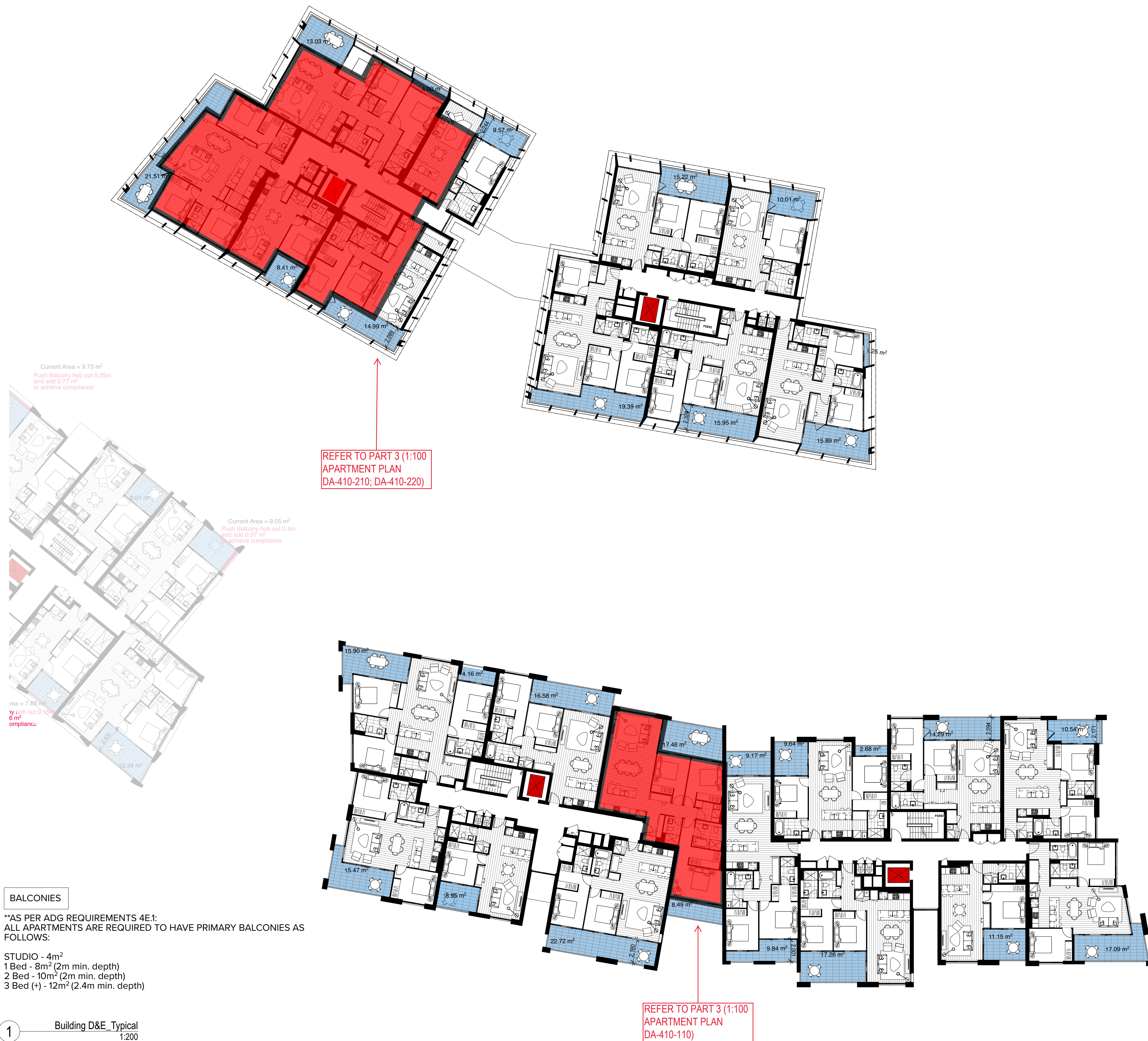
Balcony Calculation

P2	24.07.19	BF	DA Submission
Rev.	Date	Approved by	Revision Notes
Scale	1:200	@A1, 50% @A3	Project No. 14064
Status	For DA Submission	Dwg No. DA-760-010	Drawn by NM / CK Rev P2

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BALCONIES

****AS PER ADG REQUIREMENTS 4E1:
ALL APARTMENTS ARE REQUIRED TO HAVE PRIMARY BALCONIES AS
FOLLOWS:**

STUDIO - 4m²
1 Bed - 8m² (2m min. depth)
2 Bed - 10m² (2m min. depth)
3 Bed (+) - 12m² (2.4m min. depth)

1 Building D&E_Typical 1:200

0 25 50

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DLCS Quality Endorsed Company ISO 9001:2008. Registration Number 20476
Nominated Architect: Nicholas Turner 6656, ABN 86 054 984 911

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NOTES

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DLCS Quality Endorsed Company ISO 9001:2008. Registration Number 20476
Nominated Architect: Nicholas Turner 6656, ABN 86 054 984 911

DLCS Quality Endorsed Company ISO 9001:2008, Registration Number 2047
Nominated Architect: Nicholas Turner 6666, ABN 86 064 034 911

CLIENT


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Project Title
Mixed Use Development
Panthers North Precinct Penrith NSW 2750

Drawing Title
ADG Balcony Calculation
Bldg D & E Typical

P2		24.07.19 BF		DA Submission	
Rev	Date	Approved by		Revision Notes	
Scale		Project No.		Drawn by	
1:200 @A1, 50% @A3		14064		NM / CK	
Status		Dwg No.		Rev	
For DA Submission		DA-760-020		P2	



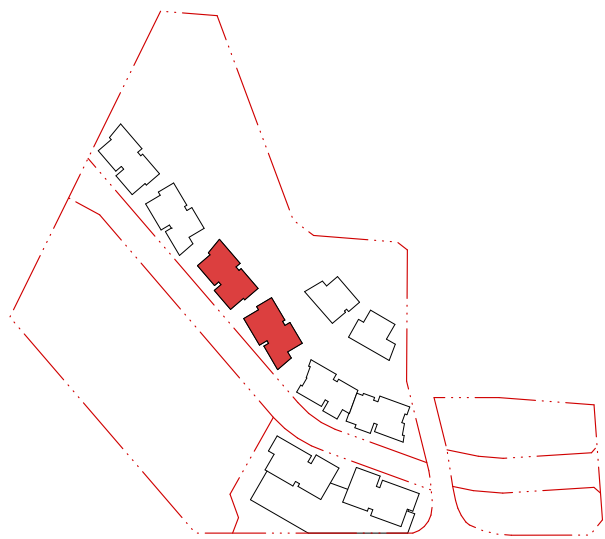
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BALCONIES

**AS PER ADG REQUIREMENTS 4E1:
ALL APARTMENTS ARE REQUIRED TO HAVE PRIMARY BALCONIES AS FOLLOWS:

- STUDIO - 4m²
1 Bed - 8m² (2m min. depth)
2 Bed - 10m² (2m min. depth)
3 Bed (+) - 12m² (2.4m min. depth)

UNIT SIZE

**AS PER ADG REQUIREMENTS 4D1:
ALL APARTMENTS ARE REQUIRED TO HAVE THE FOLLOWING MINIMUM INTERNAL AREAS

- STUDIO - 35m²
1 Bed - 50m²
2 Bed - 70m²
3 Bed (+) - 90m²

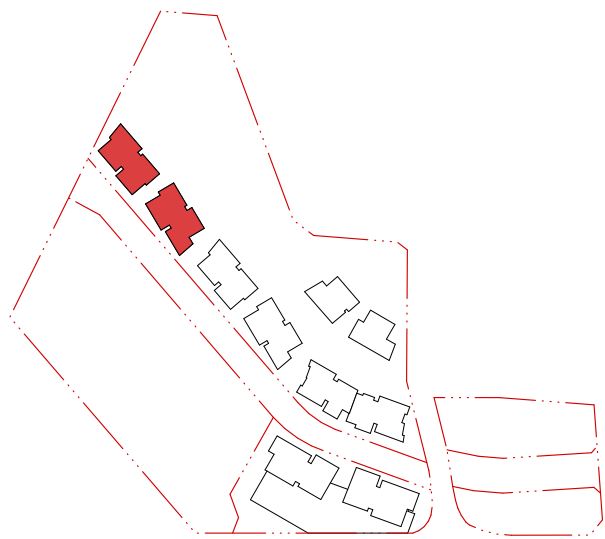
1 Building F_Typical
1:200



REFER TO PART 3 (1:100
APARTMENT PLAN
DA-410-420)



REFER TO PART 3 (1:100
APARTMENT PLAN
DA-410-420)



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1 Building G_Typical
1:200